

File Name: G:\Sackman Enterprises Inc\JOBS\SE-1912 - 19 & 29 Carr Ave - Keansburg\DWG\01-Title.dwg
Plot times: Oct 09, 2020 - 8:21 am

PROPERTY OWNERS WITHIN 200'

Block	Lot	Owner	Block	Lot	Owner
7	10.01	James Patrick O'Dea 31 Boyce Drive Ridgecroft, NJ 07450	12	2	Peter J. & Erica Marro 30 Seabreeze Way Keansburg, NJ 07734
7	10.02	OTwyer Holdings, LLC 31 Highland Ave 79 Washington Street Keyport, NJ 07735	12	3	Boro of Keansburg Vacant 29 Church Street Keansburg, NJ 07734
8	13	Sunshine Properties II, LLC 6 Green Street Metuchen, NJ 08840	12	4	Ethan Axel & Mary Amy 217 The Promenade Edgewater, NJ 07020
8	14	Igwe Properties, LLC 3 Rayne Drive Drive Metuchen, NJ 07747	12	5	20 Seabreeze, LLC 1208 Lincoln Street, Apt. #5 Linden, NJ 07036
8	15	Leap Builders, Inc. 102 Howe Lane Freehold, NJ 07728	12	6	Carr Corner, LLC 30 Graves Street Staten Island, NY 10314
10	1	Beachway Enterprises, LLC 513 Cookman Avenue Asbury Park, NJ 07732	12	7	Keansburg Boro 29 Church Street Keansburg, NJ 07734
10	2	Confort by the Sea Condominiums Beachway Keansburg, NJ 07734	12	8	Carr Avenue Topi, LLC 17 Winston Drive Middletown, NJ 07748
10	2	Daniel Barro - (C0001) 4 Mason Drive Cham Ridge, NJ 08514	12	9	Carr Avenue Topi, LLC 17 Winston Drive Middletown, NJ 07748
10	2	Luis Alcala (C0002) 276 Beachway Keansburg, NJ 07734	12	10	Rodale Developers PO Box 8 Keansburg, NJ 07726
10	2	Zach Liu (C0003) 17 Dearborn Drive Holmdel, NJ 07733	12	11	Eric Wolos 51 Leroy Place Red Bank, NJ 07701
10	2	Aurelio & Maria Marques (C0004) PO Box 58 Hillside, NJ 07025	12	12.01	Eric Wolos 51 Leroy Place Red Bank, NJ 07701
10	2	Richard Bachhausen II (C0005) 10 Debra Drive Ocean, NJ 07712	12	1	825 Realty Keansburg, LLC 24 Green Springs Way Freehold, NJ 07723
10	2	Michael & Amy F. Irmine Marchitto (C0006) 2435 Holly Lane N Plymouth, MA 0147	13	2	Village Square Condominium Raritan Avenue Keansburg, NJ 07734
10	2	Thomas M. Wall (C0007) 79 Duane Blvd. All Highlands, NJ 07736	13	2.02	Carr Enterprises, LLC 513 Cookman Avenue Asbury Park, NJ 07732
10	2	Florence & Paul Schmitt (C0008) 14 West Street Street Bergenfield, NJ 07621	13	2.03	U.I. Trading Inc. 1601 Covered Walk Road Brooklyn, NY 11229
10	2	Ellen Murray (C0009) 79 Massachusetts Street Staten Island, NY 10312	13	2.04	John & Boiya Kantor, Trustees (C0004) 6454 Cascade Street Keansburg, NJ 07734
10	2	276 Beachway Ave Apt. 10, LLC (C0010) 76-10 Beachway Keansburg, NJ 07734	13	2.05	John M. Murray 11 Raritan Avenue, Unit 2 Keansburg, NJ 07734
10	2	Douglas S. & Patsalinee Lynn Fallone (C0011) 276 Beachway Unit 11 Keansburg, NJ 07734	13	2.06	John & Boiya Kantor, Trustees (C0004) 6454 Cascade Street Keansburg, NJ 07734
10	2	Edward Oliver (C0012) 276 Beachway Unit 13 Keansburg, NJ 07734	13	2.07	Coast to Coast Holdings, LLC (C0005) 39 Emily Drive Old Bridge, NJ 08857
10	2	William J. Ryan (C0013) 76-13 Beachway Keansburg, NJ 07734	13	2.08	George J. & Katarzyna Burgess (C0006) 117 Todd Street West Keansburg, NJ 07734
10	2	Franklin Marulanda (C0014) 276 Beachway Unit 14 Keansburg, NJ 07734	13	2.09	Jason DeLorme 11 Raritan Avenue Unit 7 Keansburg, NJ 07734
10	3	Coast & Coast Holdings, LLC (C0008) 39 Emily Drive Old Bridge, NJ 08857	13	2.10	Adrian Roulas 78 Millstone Road Millstone, NJ 08515
10	4	Coast & Coast Holdings, LLC (C0009) 39 Emily Drive Old Bridge, NJ 08857	13	2.11	Joseph & Felice Coccone (C0006) 12 Gaiard Court Franklin Park, NJ 08823
10	5	Coast & Coast Holdings, LLC (C0010) 39 Emily Drive Old Bridge, NJ 08857	13	3	34 Carr, LLC 10 Campese Place Keansburg, NJ 07734
10	6	Carr Enterprises, LLC 513 Cookman Avenue Asbury Park, NJ 07732	13	4	Central Jersey Restaurant Equipment Toms River, NJ 08859
10	7	Carr Enterprises, LLC 513 Cookman Avenue Asbury Park, NJ 07732	13	5.01	Central Jersey Restaurant Equipment Toms River, NJ 08859
10	8	Beachway Enterprises, LLC 513 Cookman Avenue Asbury Park, NJ 07732	13	5.03	Carr Enterprises, LLC 513 Cookman Avenue Asbury Park, NJ 07732
10	9	Beachway Enterprises, LLC 513 Cookman Avenue Asbury Park, NJ 07732	13	7	Carr Enterprises, LLC 513 Cookman Avenue Asbury Park, NJ 07732
11	1	OTwyer Holdings, LLC 29 Highland Ave 79 Washington Street Keyport, NJ 07735	14	1	Boro of Keansburg Parking Lot 29 Church Street Keansburg, NJ 07734
11	2	Rocco & Daniel Laporte 7 Holland Road Middletown, NJ 07748	14	1.02	Russell J. Lingard, LLC 805 Line Road Aberdeen, NJ 07747
11	3	Dogo Management, LLC 89 Washington Street Keyport, NJ 07735	14	2	38 Carr Avenue, LLC 38 Carr Avenue Keansburg, NJ 07734
11	9	Jon Barone 69 Washington Street Keyport, NJ 07735	14	3	Stringy Holdings, LLC 5 Cheyenne Drive Fairfax, NJ 08859
11	10	OTwyer Holdings, LLC 24, 26, 28, High 79 Washington Street Keyport, NJ 07735	14	4	42-44 Carr Avenue, LLC 25 Country Club Lane Cobb Neck, NJ 07722
11	11	OTwyer Holdings, LLC 24, 26, 28, High 79 Washington Street Keyport, NJ 07735	14	5	42-44 Carr Avenue, LLC 25 Country Club Lane Cobb Neck, NJ 07722
11	12	Armando Ventura PO Box 5231 Newark, NJ 07105			
12	1	Richard J. Mirra 41 Gorton's Corner Road Manalapan, NJ 07726			

UTILITY CONTACTS

NJ Natural Gas Company
1415 Wyckoff Road
Wall, New Jersey 07719

Jersey Central Power & Light
PO Box 188
Allenhurst, NJ 07711

Cablevision Raritan Valley
275 Centennial Avenue CN 6805
Piscataway, NJ 08855

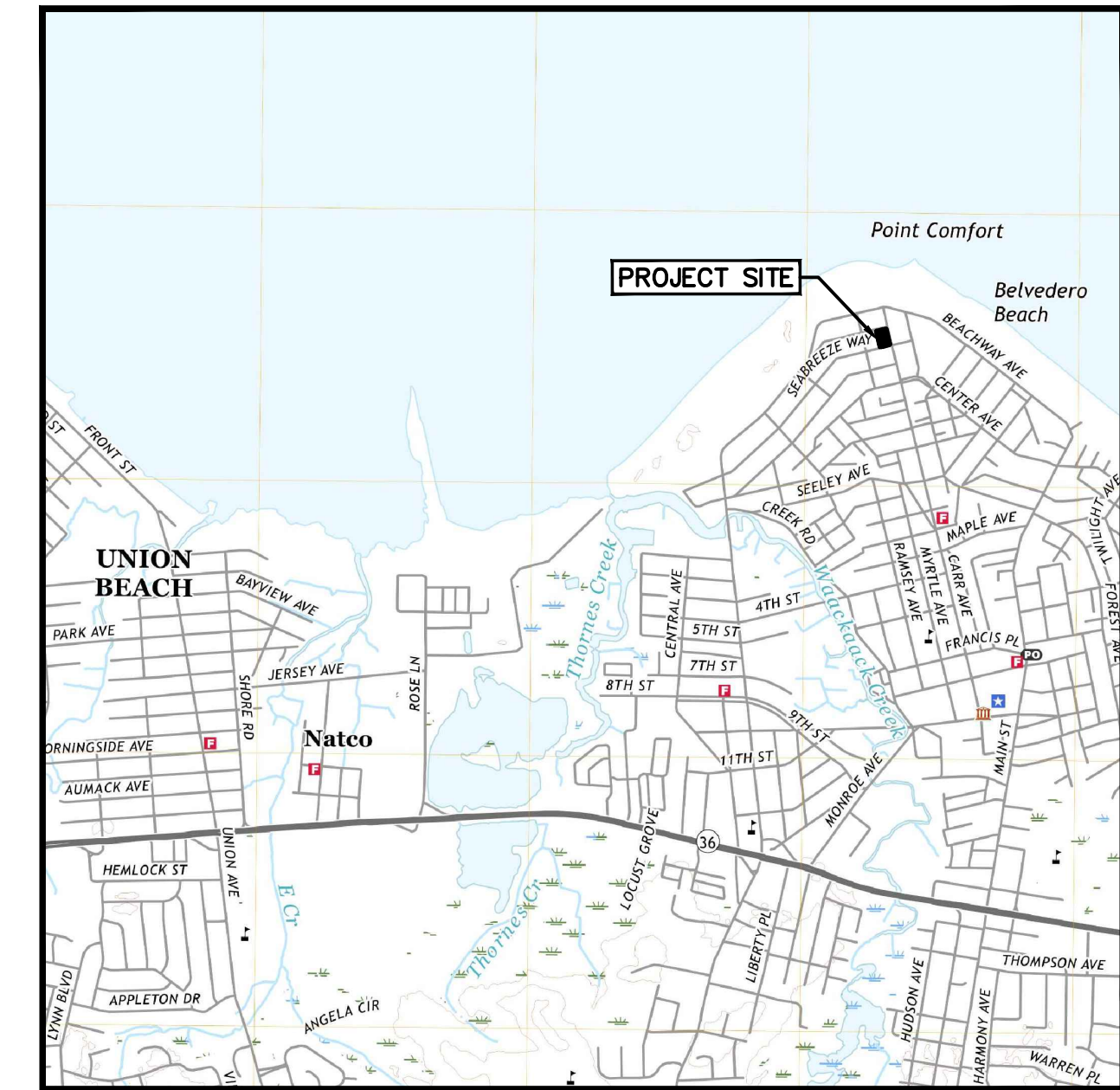
Attn: Construction Department

Keansburg Water & Sewer
29 Church Street
Keansburg, NJ 07734

Keansburg Board of Fire Commissioners
29 Church Street
Keansburg, NJ 07734

SHEET INDEX

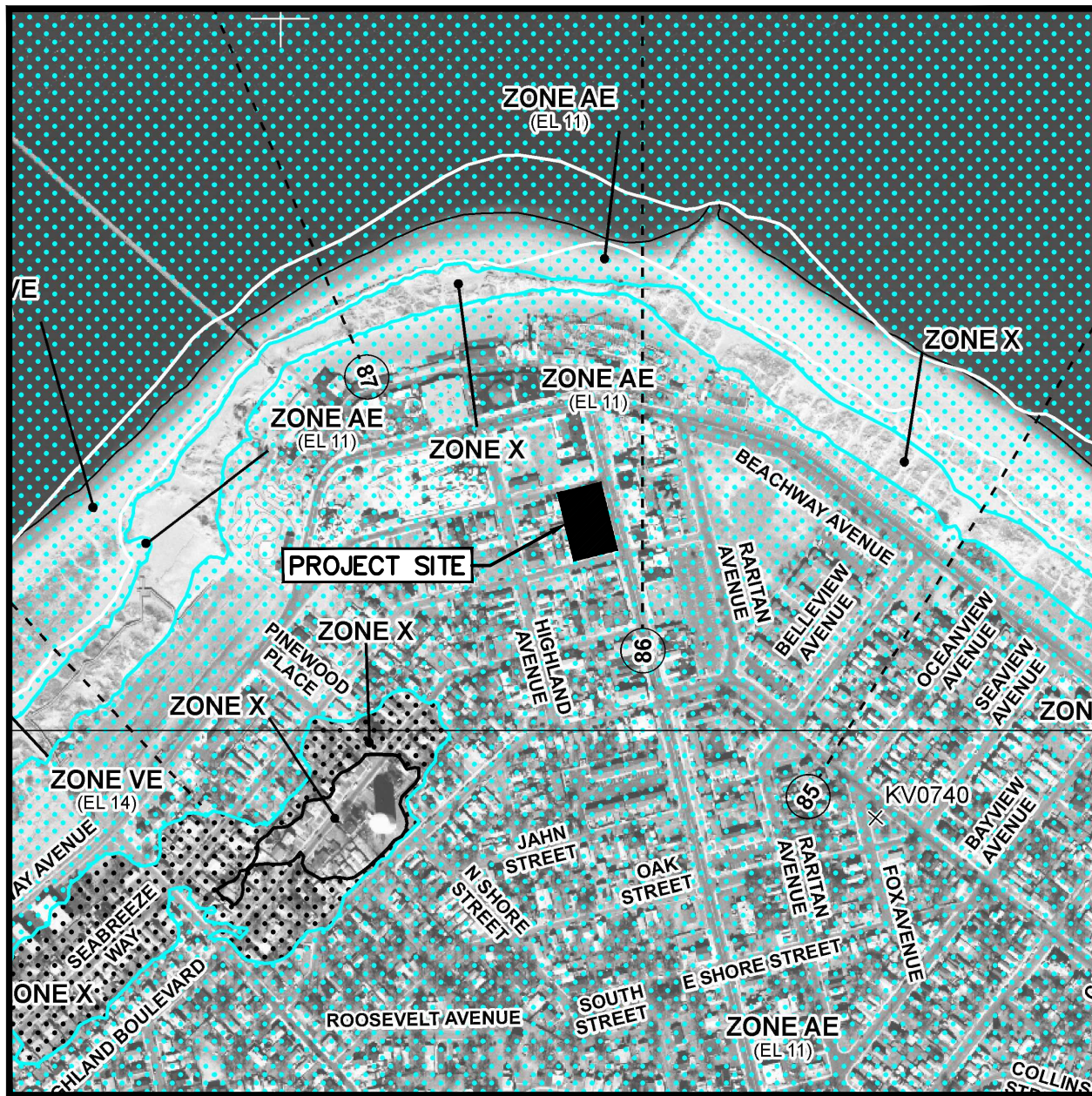
No.	Description	Revision	Date
1.	TITLE SHEET	ORIGINAL SUBMISSION	
2.	EXISTING CONDITIONS PLAN	ORIGINAL SUBMISSION	
3.	GEOMETRY, SIGNAGE, & STRIPING PLAN	ORIGINAL SUBMISSION	
4.	GRADING & UTILITY PLAN	ORIGINAL SUBMISSION	
5.	LIGHTING PLAN	ORIGINAL SUBMISSION	
6.	LANDSCAPE PLAN	ORIGINAL SUBMISSION	
7.	SOIL EROSION & SEDIMENT CONTROL PLAN	ORIGINAL SUBMISSION	
8.	SOIL EROSION & SEDIMENT CONTROL DETAILS	ORIGINAL SUBMISSION	
9.	CONSTRUCTION DETAILS	ORIGINAL SUBMISSION	
10.	CONSTRUCTION DETAILS	ORIGINAL SUBMISSION	



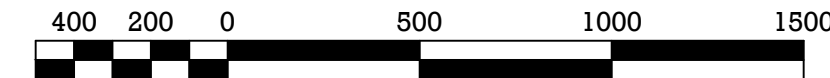
USGS QUAD MAP KEYPORT, NJ, NY



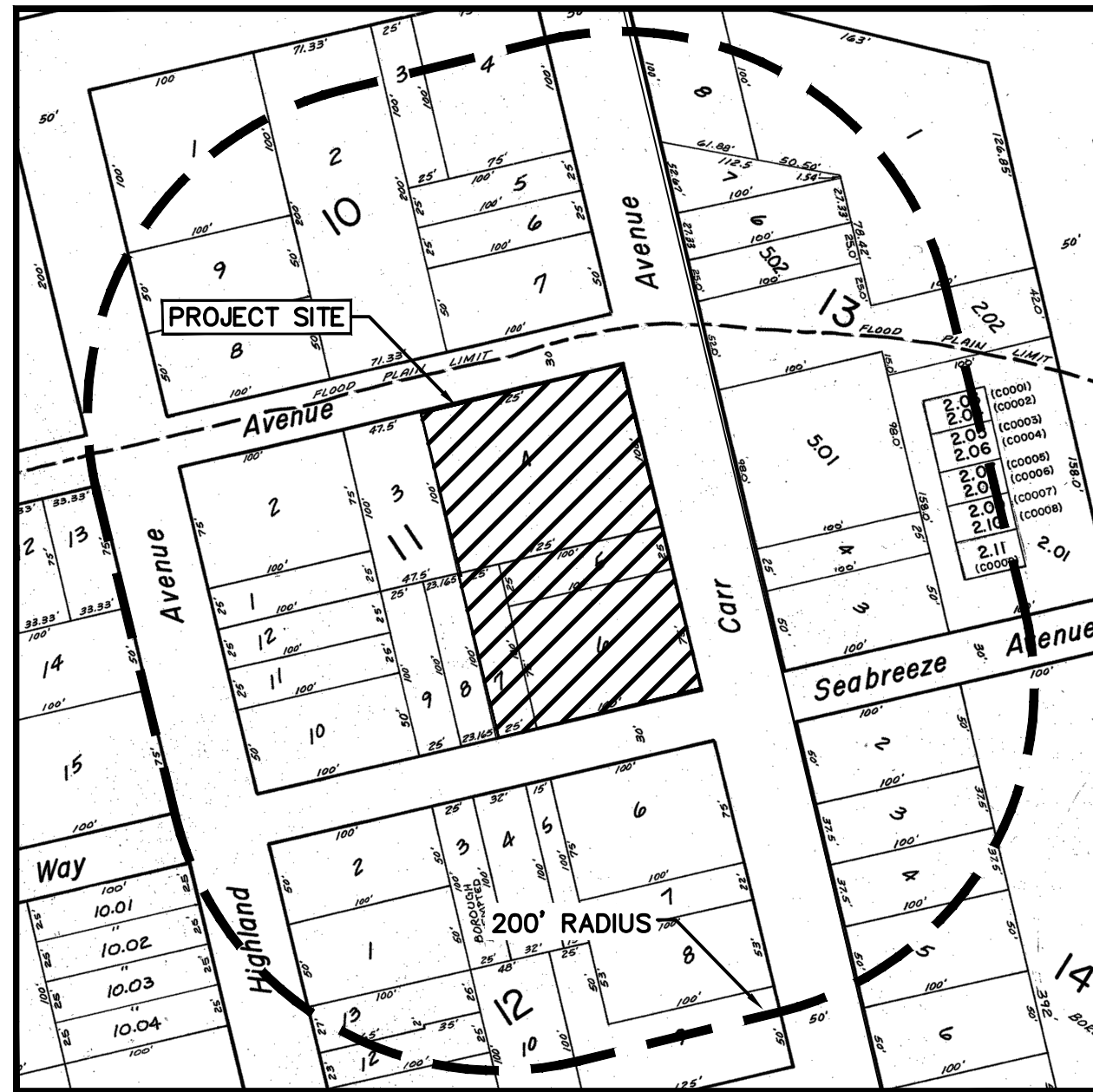
GRAPHIC SCALE
1 INCH = 2000 FEET



FEMA FLOOD MAP MAP NUMBER 34025C0034F

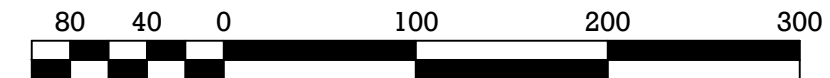


GRAPHIC SCALE
1 INCH = 500 FEET



TAX MAP

BOROUGH OF KEANSBURG SHEET 3



GRAPHIC SCALE
1 INCH = 100 FEET



General Notes

- Applicant:** Carr Avenue Realty, LLC
513 Cookman Avenue
Asbury Park, NJ 07712
Owner: Carr Avenue Realty, LLC
513 Cookman Avenue
Asbury Park, NJ 07712
- Project site being known and designated as Block 11, Lots 4, 5, 6 & 7 as shown on the current tax assessment map of the Borough of Keansburg, Monmouth County, New Jersey (Sheet 3), containing 0.57 acres.
- Boundary, topographic information and existing conditions shown based upon map entitled "Boundary & Topographic Survey, Block 11, Lots 4, 5, 6, & 7, Tax Plate 3, 19 & 29 Carr Avenue, 19 Seabreeze Way, Situated in, Borough of Keansburg, Monmouth County, New Jersey" prepared by MidAtlantic Engineering Partners and dated 9/30/20.
- Site coordinates: 590,609' N, 593,467' E
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
- Property is located in Zone AE (EL11) per FEMA's Flood Insurance Rate Map numbered 34023C0034F, with an effective date of September 25, 2009. Property also located on Zone AE (EL11) per FEMA's Preliminary Flood Insurance Rate Map numbered 34025C0034G having a preliminary date of January 31, 2015.
- Based on NIDEP GIS review, no wetlands or wetland transition areas exist on-site.
- The contractor is directed to the fact that the approximate locations of known utility structures and facilities (including but not limited to sanitary sewers, storm sewers, potable water lines and appurtenances, natural gas lines, electric, telephone and CATV lines and underground storage tanks) that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other construction obstacles prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design.
- The contractor shall verify locations of existing utilities and all other site conditions prior to beginning construction. Location of existing utilities shown on these drawings are approximate and subject to exact location in the field during construction as required by engineer or as deemed necessary to accurately locate (horizontal and vertically) all impacted utilities which are in conflict with new construction. Contractor to determine the location and elevation of the conflicting utilities and submit the data to the engineer for review elevation prior to construction.
- All construction and demolition shall conform to any applicable federal, state and local regulations. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor. The contractor shall obtain all applicable federal, state and local permits prior to construction.
- All contractors must call the New Jersey one call system (1-800-272-1000) to have all underground utilities located prior to any demolition, construction, abandonment, soils investigation in the form of public or private gathering spaces, courtyards, roof-top gardens, accessible and functional balconies, as well as landscaped areas at street level.
- All construction to be in accordance with *NIDOT Standard Specifications for Road and Bridge Construction*, latest edition. All signage and striping to be in accordance with *The Manual on Uniform Traffic Control Devices (MUTCD)*.

PROJECT NAME:	Zone:
19 Carr Avenue Borough of Keansburg	Block 11, Lots 4 through 7 Redevelopment Plan Area District: B-2
Proposed Permitted Use	Ground Floor: Retail Sales Upper Floors: Multi-Family Residential
	Block 11: Lots 4, 5, 6 & 7
	Required Existing Proposed Complies
Min. Lot Area	22,500 SF No Change Yes
Min. Lot Width	No standard 200 ft No Change Yes
Min. Lot Depth	No standard 124 ft No Change Yes
Min. Front Yard Setback from Property Line Along Carr Avenue	5 ft 11.0 ft 10.0 ft (Building Face) 2.0 ft (Balconies) Yes No*
Along Bay Avenue	3 ft 9.7 ft 4.0 ft Yes
Along Seabreeze Way	3 ft 74.6 ft 4.0 ft Yes
Max. Front Yard Setback from Property Line Along Carr Avenue	10 ft 11.0 ft 13.0 ft (Building Face) 8.0 ft (Balconies) 5.0 ft Yes No*
Along Bay Avenue	10 ft 9.7 ft 5.0 ft Yes
Along Seabreeze Way	10 ft 74.6 ft 5.0 ft Yes
Min. Front Yard Setback from Curb Line Along Carr Avenue	15 ft 17.2 ft 16.6 ft (Building Face) 8.6 ft (Balconies) Yes No*
Along Bay Avenue	7 ft 13.9 ft 8.1 ft Yes
Along Seabreeze Way	7 ft 79.5 ft 8.8 ft Yes
Max. Front Yard Setback from Curb Line Along Carr Avenue	20 ft 17.2 ft 19.6 ft Yes
Along Bay Avenue	15 ft 13.9 ft 8 ft Yes
Along Seabreeze Way	15 ft 79.5 ft 9.6 ft Yes
Min. Rear Yard Setback	5 ft for 1/3 of Building Facade 10 ft for Remainder of First Floor 25 ft for Stories Above First Floor 28.3 ft 21 ft for Remainder 21 ft for Remainder No*
Min. Number of Stories	3 Stories 2 Stories 3 Stories Yes
Max. Number of Stories	5 Stories 2 Stories 3 Stories Yes
Min. Building Height ¹	> 40 ft 23 ft < 40 ft Yes
Max. Building Height ¹	68 ft 23 ft < 68 ft Yes
Max. Impervious Cover	95% 76.1% 93.2% Yes
Min. Open Space ²	10% 23.9 % 11.7% Yes
Max. Number of Residential Units	50 Units N/A 50 Yes
Number of On-Site Parking Spaces	Residential: 0.8 Spaces/Unit (0.8 Spaces x 50 Units = 40 Spaces) Retail Uses: 1 Space per 500 SF (1/500 Spaces x 6465 SF = 13 Spaces) TOTAL = 53 Spaces N/A (2 ADA Spaces - 1 Van Accessible) (8 ADAFT Spaces within ROW) No*
Number of On-Site Bicycle Parking Spaces	Residential: 0.35 Spaces/Unit (0.35 Spaces x 50 Units = 18 Spaces) Retail Uses: 0.2 Space per 500 SF (0.2/500 Spaces x 6465 SF = 3 Spaces) TOTAL = 21 Spaces N/A 5 Internal Spaces (16 ADAFT Spaces within ROW) No*

¹ Building height is measured from average grade to the peak of pitched or vaulted roof, or the parapet of a flat roof.

² The minimum open space requirement can be satisfied in the form of public or private gathering spaces, courtyards, roof-top gardens, accessible and functional balconies, as well as landscaped areas at street level.

*Variance requested

APPROVED AS A PRELIMINARY/ FINAL
SITE PLAN BY THE BOROUGH OF
KEANSBURG PLANNING BOARD AT ITS
MEETING HELD ON _____

BOARD CHAIR _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

PRELIMINARY/FINAL MAJOR SITE PLAN
19 CARR AVENUE
BLOCK 11
LOTS 4, 5, 6 & 7
TITLE SHEET
SITUATED IN
BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

MoAtlantic
Engineering Partners, LLC

Gateway 196 Centre
Hamilton, NJ 08691
609-910-1450

Certificate of Authorization No. 24G428184000
Louis L. Zagajewski P.E.
William J. Parkhill II P.E.

Sheet Number
1 OF **10**

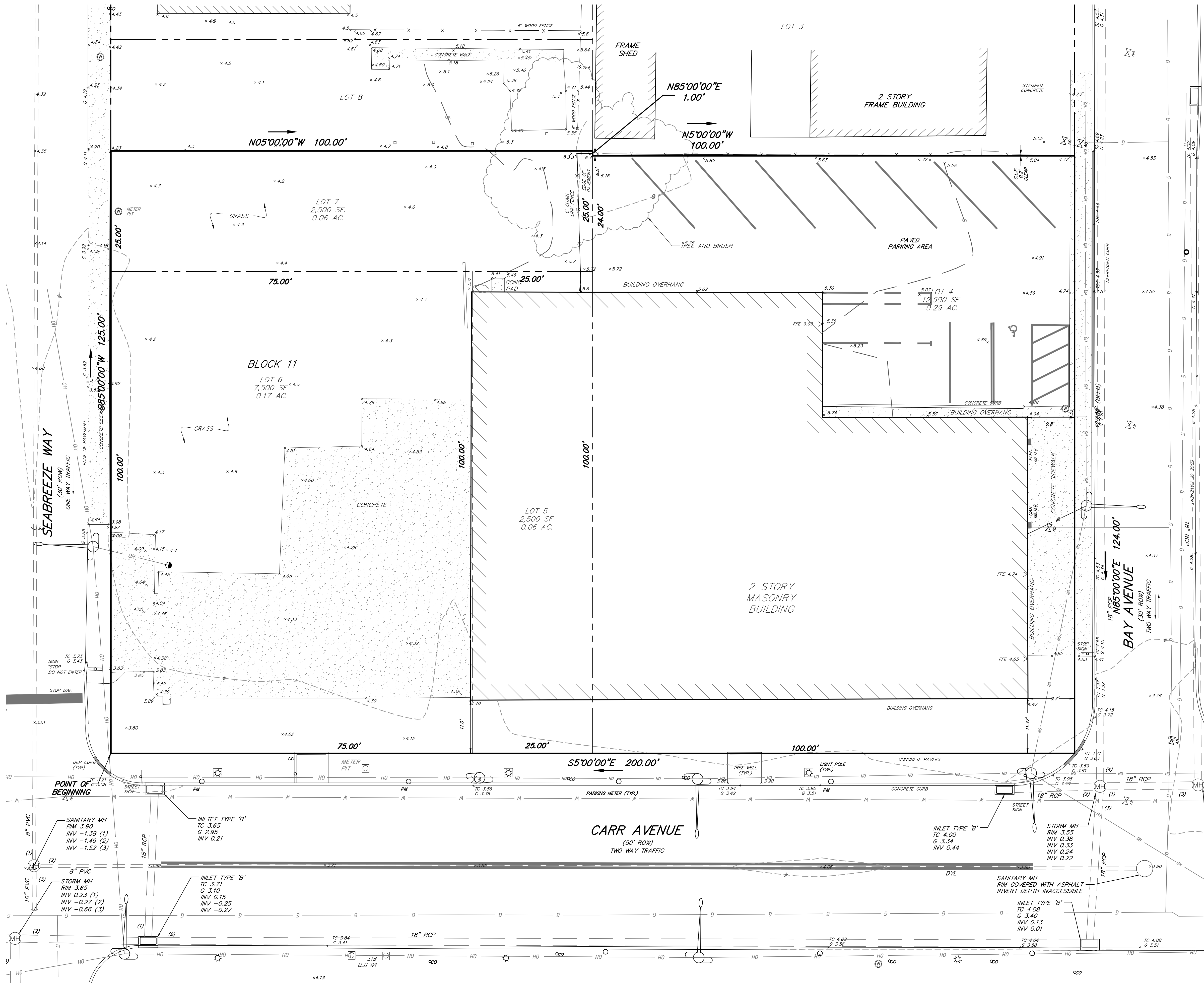
CHECKED BY: GBD
RELEASED BY: GBD
DATE: 10/09/20
DRAWN BY: MJR

VERTICAL SCALE: N/A
HORIZONTAL SCALE: AS NOTED
PROJECT No.: SE-1912
DRAWING NAME: 01-Title.dwg

DATE: _____
REVISIONS: _____
DRAWN BY: _____
CHECKED BY: _____

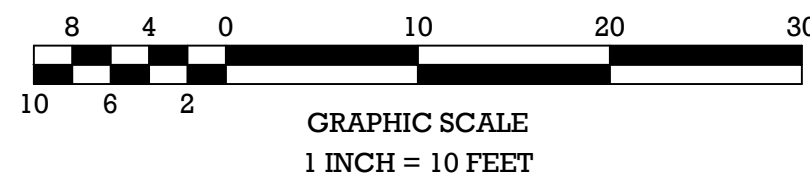
Gregory B. Domalewski, P.E.
PROFESSIONAL ENGINEER
N.J. Lic. No. G64036900

DATE: 10/09/20

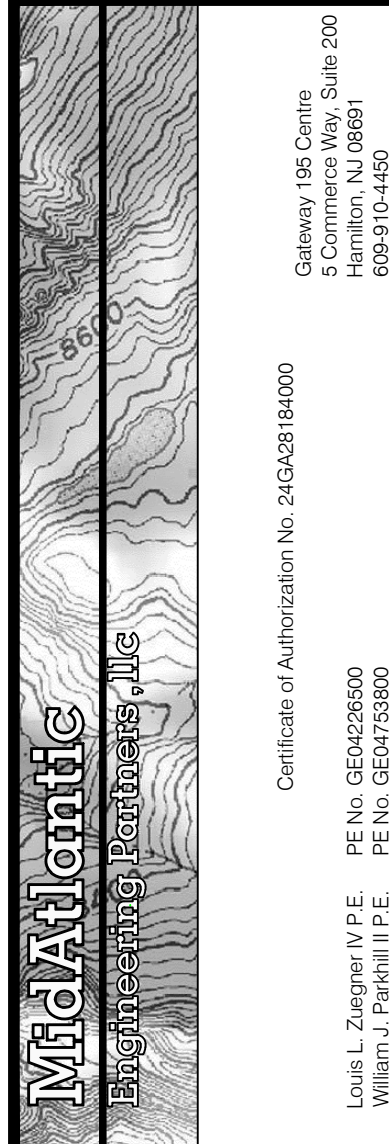


Existing Conditions Notes

- Project site being known and designated as Block 11, Lots 4, 5, 6 & 7 as shown on the current tax assessment map of the Borough of Kearsburg, Monmouth County, New Jersey (Sheet 3), containing 0.57 acres.
- Boundary, topographic information and existing conditions shown based upon map entitled "Boundary & Topographic Survey, Block 11, Lots 4, 5, 6, & 7, Tax Plate 3, 19 & 29 Carr Avenue, 19 Seabreeze Way, Situated in, Borough of Kearsburg, Monmouth County, New Jersey" prepared by MidAtlantic Engineering Partners and dated 9/30/20.
- Site coordinates: 590,609' N, 593,467' E
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
- Per the FEMA Flood Insurance Rate Map, Community Panel No. 34025C0034F, with an effective date of September 25, 2009, the property is located in Floodplain Zone AE, areas subject to inundation by the 1% annual chance flood, with a base flood elevation of 11.
- Based on NJDEP GIS review, no wetlands or wetland transition areas exist on-site. The project site is located within the CAFRA review area.
- All construction and demolition shall conform to any applicable federal, state and local regulations. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor. The contractor shall obtain all applicable federal, state and local permits prior to construction.
- All debris generated during construction such as trees, stumps, vegetation, dirt piles, construction debris, etc within the project's boundary shall be removed as part of this project and be disposed of off-site unless otherwise stated or approved.
- The contractor is directed to the fact that the approximate locations of known utility structures and facilities (including but not limited to sanitary sewers, storm sewers, potable water lines and appurtenances, natural gas lines, electric, telephone and CATV lines and underground storage tanks) that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other construction obstacles prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design.
- The contractor shall verify locations of existing utilities and all other site conditions prior to beginning construction. Location of existing utilities shown on these drawings are approximate and subject to exact location in the field during construction as required by engineer or as deemed necessary to accurately locate (horizontal and vertically) all impacted utilities which are in conflict with new construction. Contractor to determine the location and elevation of the conflicting utilities and submit the data to the engineer for review elevation prior to construction.
- All contractors must call the New Jersey one call system (1-800-272-1000) to have all underground utilities located prior to any demolition, construction, abandonment, soils investigation, and/or excavations.
- In the event that any existing street trees are removed during the construction of the project, they shall be replaced by the applicant.



PRELIMINARY/FINAL MAJOR SITE PLAN 19 CARR AVENUE BLOCK 11 LOTS 4, 5, 6 & 7 EXISTING CONDITIONS PLANS SITUATED IN BOROUGH OF KEARSBURG, MONMOUTH COUNTY, NEW JERSEY

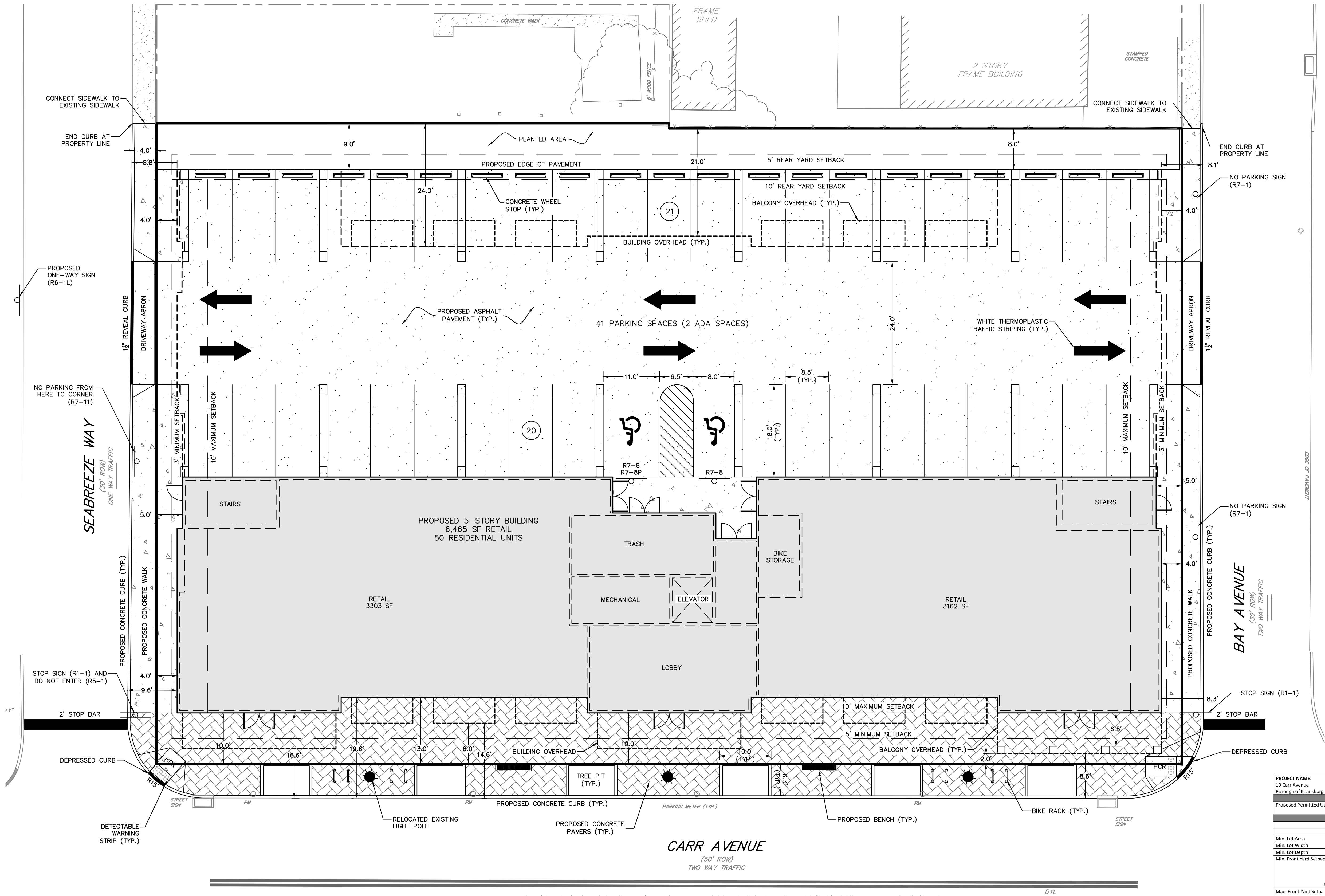


Sheet Number
2 OF 10

Gregory B. Domalewski, P.E.
PROFESSIONAL ENGINEER
N.J. Lic. No. 604869900
DATE: 10/09/20
PROJECT No.: SE-1912
DRAWING NAME: 02-Ex_Cond.dwg

DRAWN BY:	CHECKED BY:	RELEASED BY:
MJR	GBD	GBD
DATE:	HORIZONTAL SCALE:	VERTICAL SCALE:
10/09/20	1"=10'	N/A

DATE	REVISIONS	DRAWN BY	CHECKED BY



Layout Notes:

- Project site being known and designated as Block 11, Lots 4, 5, 6 & 7 as shown on the current tax assessment map of the Borough of Keansburg, Monmouth County, New Jersey (Sheet 3), containing 0.57 acres.
- Boundary, topographic information and existing conditions shown based upon map entitled "Boundary & Topographic Survey, Block 11, Lots 4, 5, 6, & 7, Tax Plate 3, 19 & 29 Carr Avenue, 19 Seabreeze Way, Situated in, Borough of Keansburg, Monmouth County, New Jersey" prepared by MidAtlantic Engineering Partners and dated 9/30/20.
- Site coordinates: 590,609' N, 593,467' E
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
- All construction to be in accordance with *NIDOT Standard Specifications for Road and Bridge Construction*, latest edition. Pavement striping and/or traffic control signage shall be installed in strict accordance with requirements of *The Manual on Uniform Traffic Control Devices (MUTCD)*.
- All striping should be white thermoplastic striping.
- All curb and sidewalks shall conform to state and federal barrier free design standards. Concrete to be 4" thick, except at points of vehicular crossing where they are to be at least 6" thick. At vehicular crossings, sidewalks shall be reinforced with welded wire fabric mesh or an equivalent. Concrete sidewalks to be Class C concrete, having a 28-day compressive strength of 4,500 p.s.i.
- All sidewalk ramps marked HCR to have detectable warning surface installed in accordance with ADA regulations. All detectable warning strips shall be "replaceable wet-set" or equivalent. Surface mount or "stick on" warning strips are not permitted unless noted otherwise.
- Existing concrete curbing and/or walks that will be removed shall be removed from an existing expansion joint or saw cut for removal at an existing construction joint.
- Where concrete curbing will be constructed within, or adjacent to, existing bituminous pavement, it shall be saw cut and removed, clear through to the subgrade, a minimum distance of 18 inches from, and parallel to, the proposed curb face. This requirement may be modified in the field if the Municipal / County Engineer determines that "face forming" of new curbs is more desirable.
- Sidewalk/walkway risers must be greater than 4" and less than 7".

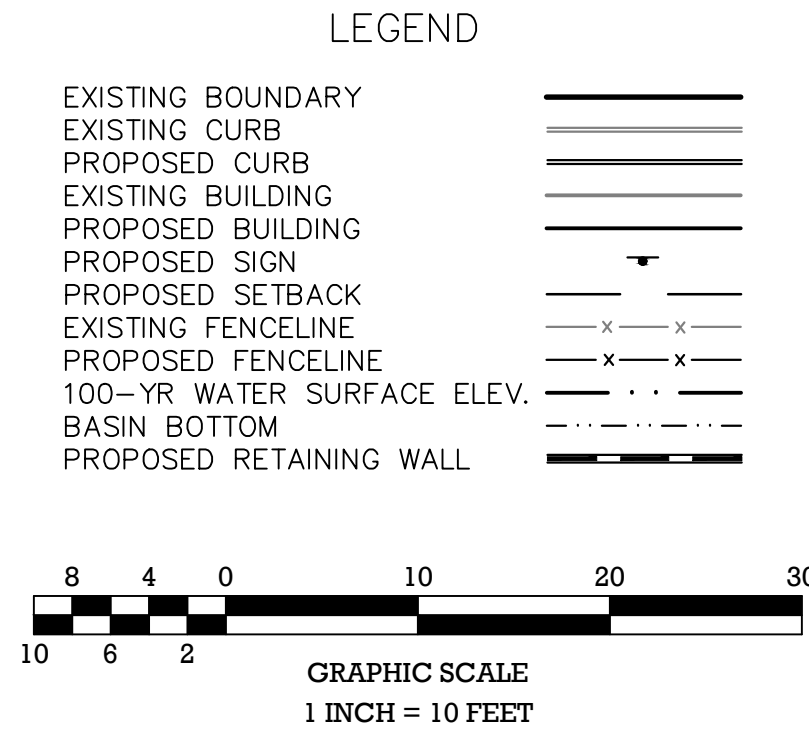
- This project has been designed in accordance with New Jersey Administrative Code, Title 5, Chapter 21, "Residential Site Improvement Standards" to the maximum extent feasible.
- See architect's plans for building elevations and floor plans.
- All contractors must call the New Jersey One Call System (800-272-1000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.
- The contractor's work shall be in accordance with NIDOT 'Standard Specifications for Road and Bridge Construction', latest edition.
- All signage to be posted and striping to be installed in accordance with the United States Department of Transportation-Federal Highway Administration, "Manual on Uniform Traffic Control Devices for Street and Highways (MUTCD)", latest edition.
- The subject property shall be merged into a single lot.
- The contractor shall:
 - Perform all work for the project in a finished and workmanlike manner to the satisfaction of the owner and in accordance with the best recognized trade practices.
 - Be responsible to maintain the site in a clean and organized manner.
 - Dispose of any and all construction debris in accordance with any local, state, or federal requirements.
 - Repair any damage to public streets, curbs, sidewalks and utilities as a result of construction activities.
 - Coordinate the construction schedule with the owner prior to start of work.
 - Obtain any required road opening permits and perform work in accordance with AHI requirements.
 - Be responsible to provide traffic control including barricades, lighting, signage etc. as may be necessary for completion of the project.
 - Be responsible for site safety & security and the means & methods of construction for project duration.
 - Confirm the location of all utilities prior to start of construction by requesting a utility mark out and completing test pits as necessary.
 - Notify the owner and engineer of any required field change immediately.
 - Maintain dimensioned redline plans of all installed infrastructure and improvements that shall be provided to the owner / engineer noting the locations of all underground infrastructure such as electric conduit, water lines, roof leader collection piping etc.
 - Only import certified clean fill (if required) in accordance with NJDEP Technical Requirements N.J.A.C. 7:26E. All imported material requires approval by owner and their environmental consultant prior to placement onsite.

PROJECT NAME:	19 Carr Avenue Borough of Keansburg			Zone: Block 11, Lots 4 through 7 Redevelopment Plan Area Upper Floors: Multi-Family Residential District: E-2
Proposed Permitted Use	Ground Floor: Retail Sales Upper Floors: Multi-Family Residential			
	Block 11, Lots 4, 5, 6 & 7			
	Required	Existing	Proposed	Complies
Min. Lot Area	22,500 SF	25,000 SF	No Change	Yes
Min. Lot Width	No standard	200 ft	No Change	Yes
Min. Lot Depth	No standard	124 ft	No Change	Yes
Min. Front Yard Setback from Property Line	5 ft	11.0 ft	10.0 ft (Building Face) 2.0 ft (Balconies)	Yes
Along Carr Avenue	3 ft	9.7 ft	4.0 ft	Yes
Along Seabreeze Way	3 ft	74.5 ft	4.0 ft	Yes
Max. Front Yard Setback from Property Line	10 ft	11.0 ft	13.0 ft (Building Face) 8.0 ft (Balconies)	No*
Along Carr Avenue	10 ft	9.7 ft	5.0 ft	Yes
Along Seabreeze Way	10 ft	74.5 ft	5.0 ft	Yes
Min. Front Yard Setback from Curb Line	15 ft	17.2 ft	16.6 ft (Building Face) 8.6 ft (Balconies)	Yes
Along Carr Avenue	7 ft	13.9 ft	8.1 ft	No*
Along Seabreeze Way	7 ft	79.5 ft	8.8 ft	Yes
Max. Front Yard Setback from Curb Line	20 ft	17.2 ft	19.6 ft	Yes
Along Carr Avenue	15 ft	13.9 ft	14.6 ft (Balconies)	Yes
Along Seabreeze Way	15 ft	79.5 ft	9.6 ft	Yes
Min. Rear Yard Setback	5 ft for 1/3 of Building Façade 10 ft for Remainder of First Floor 25 ft for Stories Above First Floor	28.3 ft	8 ft for 64 ft of Façade 21 ft for Remainder	Yes
Min. Number of Stories	3 Stories	2 Stories	5 Stories	Yes
Max. Number of Stories	5 Stories	5 Stories	5 Stories	Yes
Min. Building Height ¹	40 ft	23 ft	> 40 ft	Yes
Max. Building Height ¹	68 ft	23 ft	< 68 ft	Yes
Max. Impervious Cover	90%	76.1%	93.2%	Yes
Min. Open Space ²	10%	23.9%	11.7%	Yes
Max. Number of Residential Units	50 Units	N/A	50	Yes
Number of On-Site Parking Spaces	Residential: 0.8 Spaces/Unit (0.8 Spaces x 50 Units = 40 Spaces) Retail Uses: 1 Space per 500 SF (1/500 Spaces x 6465 SF = 13 Spaces) TOTAL = 53 Spaces	N/A	41 Spaces (2 ADA Spaces - 1 Van Accessible) (8 ADA1 Spaces within ROW)	No*
Number of On-Site Bicycle Parking Spaces	Residential: 0.35 Spaces/Unit (0.35 Spaces x 50 Units = 18 Spaces) Retail Uses: 0.2 Space per 500 SF (0.2/500 Spaces x 6465 SF = 3 Spaces) TOTAL = 21 Spaces	N/A	5 Internal Spaces (16 ADA1 Spaces within ROW)	No*

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² The minimum open space requirement can be satisfied in the form of public or private gathering spaces, courtyards, roof-top gardens, accessible and functional balconies, as well as landscaped areas at street level.

*Variance requested



PRELIMINARY/FINAL MAJOR SITE PLAN
19 CARR AVENUE
BLOCK 11
LOTS 4, 5, 6 & 7
GEOMETRY, SIGNAGE, & STRIPING PLAN
SITUATED IN
BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

MidAtlantic
Engineering Partners, LLC

Gateway 196 Centre
196 Centre
Hamilton, NJ 08601
609-910-4450

Certificate of Authorization No. 24G498 (84000)
Louis L. Zagorier IV P.E.
William J. Parkhill II P.E.

PE No. GE04262930
PE No. GE04753800

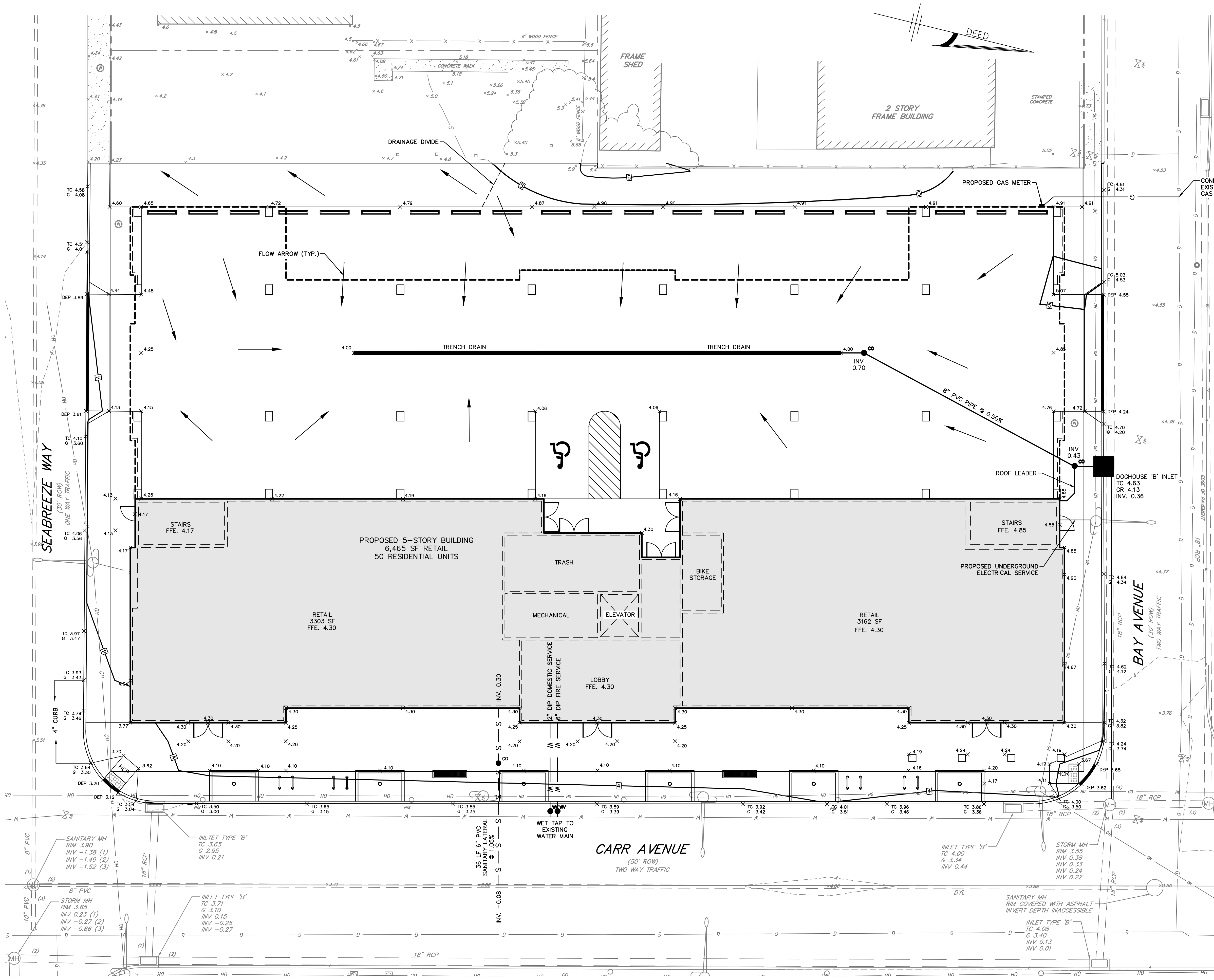
DATE: 10/09/20
PROJECT No.: SE-1912
DRAWING NAME: 03-LAYOUT.dwg

RELEASED BY: GBD
CHECKED BY: GBD
DRAWN BY: MJR

VERTICAL SCALE: N/A
HORIZONTAL SCALE: 1"=10'

DATE: 10/09/20
PROJECT No.: SE-1912
DRAWING NAME: 03-LAYOUT.dwg

REVISIONS
DATE
DRAWN BY
CHECKED BY



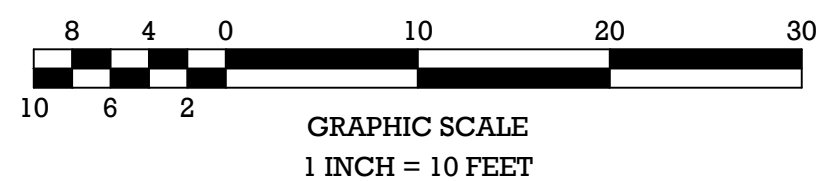
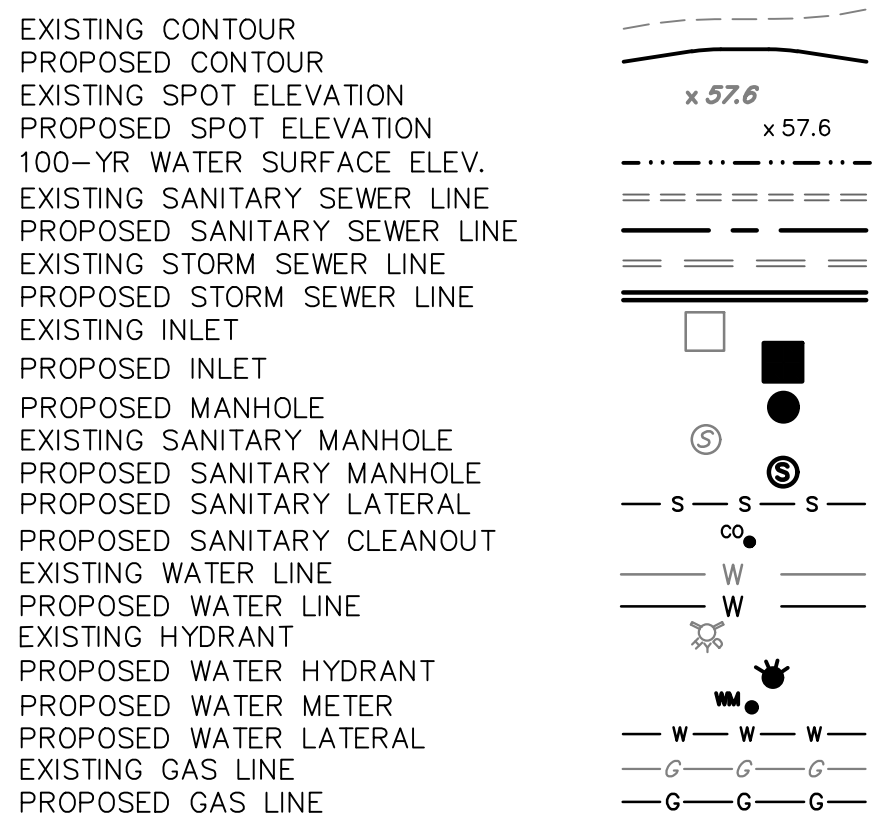
Grading Notes

- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
- All curbs shall be pavement flush depressed at crosswalks and handicapped ramps to conform to applicable state and federal barrier free design standards.
- ADA designated units are to conform to the accessibility standards set forth in the Americans with Disabilities Act.
- All walkways to have a maximum cross slope of 2% and running slope of 5% unless otherwise noted.
- Sidewalk/walkway risers must be greater than 4" and less than 7". Tread depth to be 11" min.
- All proposed curbing shall have a 6" reveal, unless otherwise stated.
- All grading within grassed areas to be a minimum of 2% and a maximum of 3:1 slope unless otherwise noted.
- All grading in pavement areas shall be greater than 1% unless otherwise noted.
- Positive drainage to be maintained from all buildings in accordance with applicable regulations and building code.
- Floor elevations, adjacent grade, doorway locations and elevations shall be confirmed with architectural plans prior to construction by the contractor.
- All grassed areas to have a minimum of 4" clean top soil when sod is being installed or 6" clean top soil for seeding applications.
- All contractors must call the New Jersey One Call System (800-272-1000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.
- Soil compaction to be per architectural requirements based on slab and footing design. 95% minimum compaction required per modified proctor moisture density test procedure ASTM D1557.

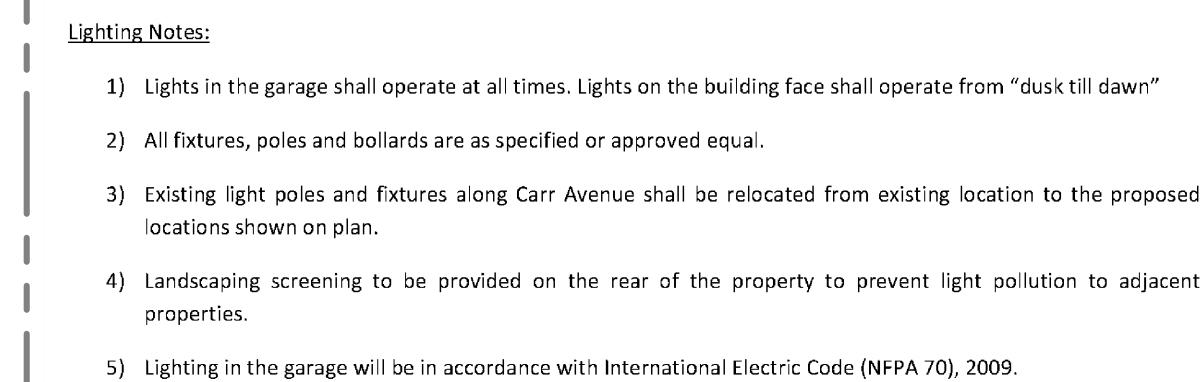
Utility Notes

- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
- All contractors must call the New Jersey One Call System (800-272-1000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.
- Attention to the contractor is directed to the fact that the approximate locations of known utility structures and facilities (including but not limited to sanitary sewers, storm sewers, potable water lines and appurtenances, natural gas lines, electric, telephone and CATV lines and underground storage tanks) that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other construction obstacles prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design.
- Contractor to perform test pits to verify existing utility depths, sizes and locations prior to connecting proposed sewer and water mains to existing sewer and water mains. The contractor shall notify the engineer in writing of any conflicts so that design modifications can be made if necessary.
- All construction shall conform to any applicable federal, state and local regulations. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor. The contractor shall obtain all applicable federal, state and local permits prior to construction.
- See MEP/Architectural plans for all utility connections to building. All utility connections shall be reviewed & verified by the contractor prior to start of site construction.
- Shop drawings and product catalog information for all water and sanitary sewer structures, conduits, materials, and appurtenances, to be provided to the project engineer for review and approval prior to purchasing.
- All utility service connections to buildings to be located underground.
- Pipe lengths indicated are measured center to center of each structure.
- All sanitary and drainage structures shall be precast concrete unless otherwise specified.
- Refer to water and sanitary sewer technical specifications for material, installation and testing requirements.
- Unless otherwise indicated:
 - RCP shall be Class 5 wall, bell and spigot type with O-ring gaskets.
 - HDPE pipes shall be ADS N-12 with soil tight joints or approved equal.
 - DIP water main shall be Class PSI 350 cement lined ductile iron pipe (polyethylene encasement).
 - Sanitary sewer mains and laterals shall be PVC SDR-35, push on, gasketed joint (ASTM-3034).
- All new water mains and services shall be installed with a minimum of 3.5 feet of cover (relative to proposed grade) over the pipe to prevent freezing.
- All new sanitary sewer mains and laterals shall be installed with a minimum of 3 feet of cover (relative to proposed grade) over the pipe to prevent freezing.
- 4" sanitary sewer laterals shall sloped at 1:48 (2.1%). 6" laterals shall be sloped at 1:96 (1.05%).
- A 10-ft. horizontal distance shall separate water mains and sanitary sewer mains. Where such separation is not possible, the water mains and sanitary sewer mains shall be installed in separate trenches with the water main at least 18 inches above the sewer main. Where such vertical separation is not possible, the sewer main shall be constructed with watertight joints for a distance of 10 feet in either direction of the water main (N.J.A.C. 7:10-11.7(d)-5).
- Adequate structural support of sewers and water lines at all points of crossing shall be provided to prevent excessive deflection, settlement or damage. The crossings shall be arranged such that the joints in the pipes are equidistant and as far apart as possible from the other pipe.
- Where utilities cross beneath existing / proposed water mains or storm and sanitary sewers, the utility contractor shall provide adequate structural support by installing select backfill from the utility to the spring line of the water main or sewer. Select backfill shall be clean sand or NDOT soil I-9 compacted to 95% of the modified proctor aggregate type density ASTM D-698 Method D. It shall extend a minimum of 10 feet each way from the centerline of the crossing.
- Electrical, telephone, CATV and all other wire-served utility extensions and services shall be installed underground with standards established by the servicing utility company.
- Electrical transformer pad specifications, conduit locations and installation to be coordinated with electric company prior to installation.

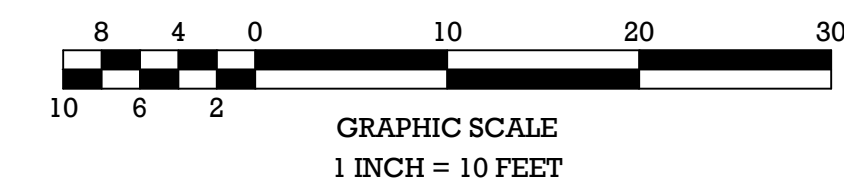
LEGEND



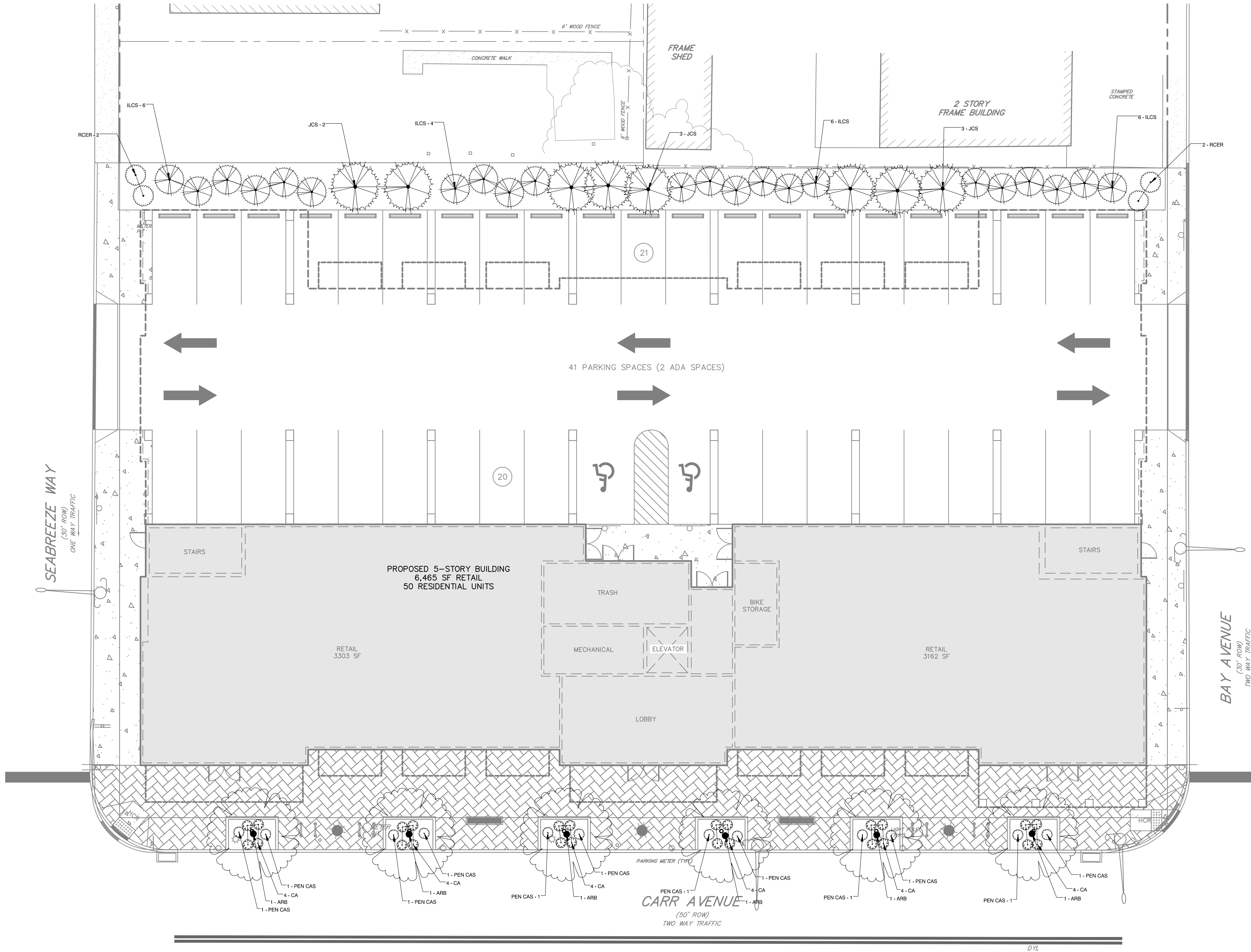
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DRAWN BY: MJR		CHECKED BY: GBD		DATE: 10/09/20		PROJECT No.: SE-1912		DRAWING NAME: 04-Grading & Utility.dwg		DATE		REVISIONS		DRAWN BY		CHECKED BY	
<p>PRELIMINARY/FINAL MAJOR SITE PLAN 19 CARR AVENUE BLOCK 11 LOTS 4, 5, 6 & 7 GRADING & UTILITY PLAN</p> <p>Gregory B. Domalewski, P.E. PROFESSIONAL ENGINEER N.J. Lic. No. 60486990</p> <p>MoAtlantic Engineering Partners, LLC Gateway 195 Centre Hamilton, NJ 08691 609-510-4450</p> <p>Certificate of Authorization No. 24G438 884000 Louis L. Zagorin IV P.E. PE No. GE04262800 William J. Parkhill II P.E. PE No. GE04753800</p> <p>BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY</p> <p>Sheet Number 4 OF 10</p>																	



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	+	1.6 fc	10.3 fc	0.1 fc	103.0:1	16.0:1

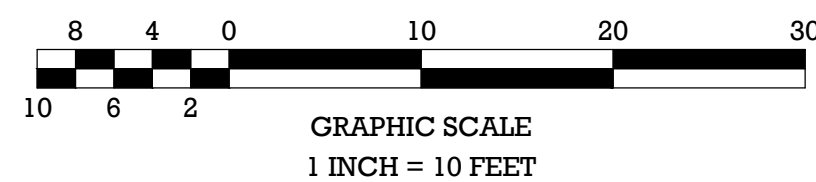


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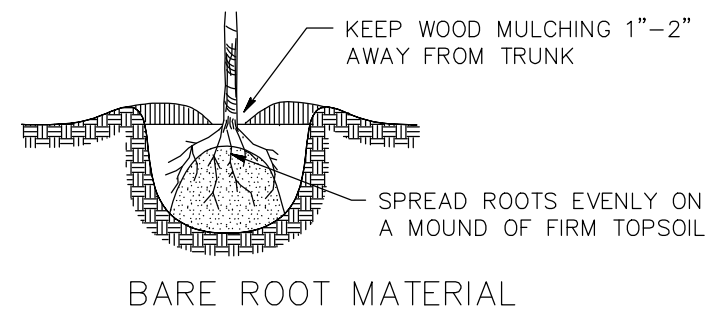
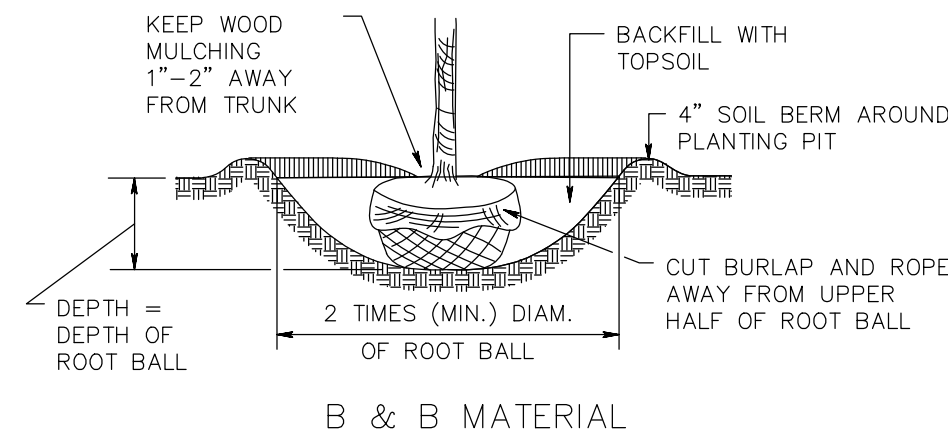


PLANT SCHEDULE

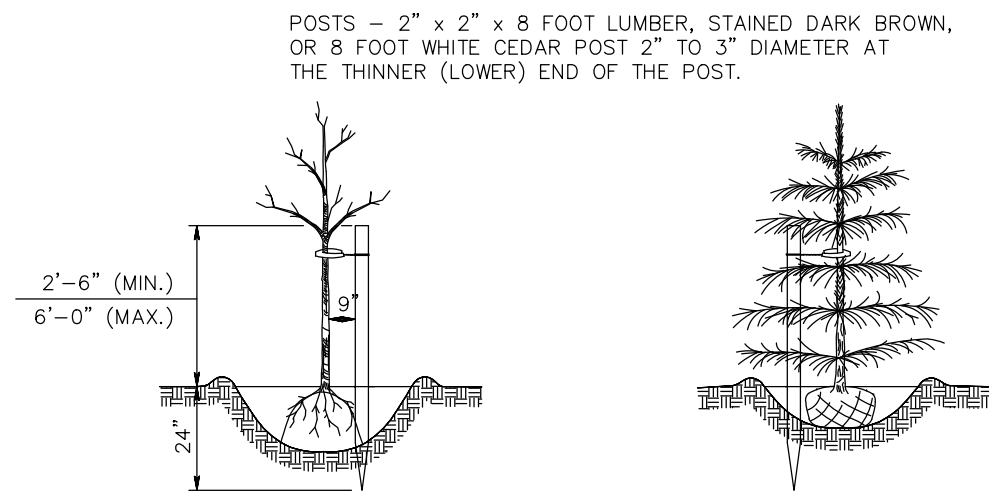
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
JCS	8	Juniperus chinensis 'Spartan'	Spartan Juniper	5-6' HT	B&B	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
ILCS	22	Ilex crenata 'Steeds'	Steeds Japanese Holly	4-5' HT.	B&B	
RCER	4	Rhododendron catawbiense 'English Roseum'	English Roseum Rhododendron	24-30"	B&B	
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
ARB	6	Acer rubrum 'Bowhall'	Bowhall Maple	2-2 1/2" cal.	B&B	
PERENNIAL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
CA	24	Ceratostigma abyssinicum	Plumbago	6"	Pot	
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
PEN CAS	12	Pennisetum alopecuroides 'Cassian's Choice'	Cassian Fountain Grass	1 gal.	Pot	Drought tolerant plant



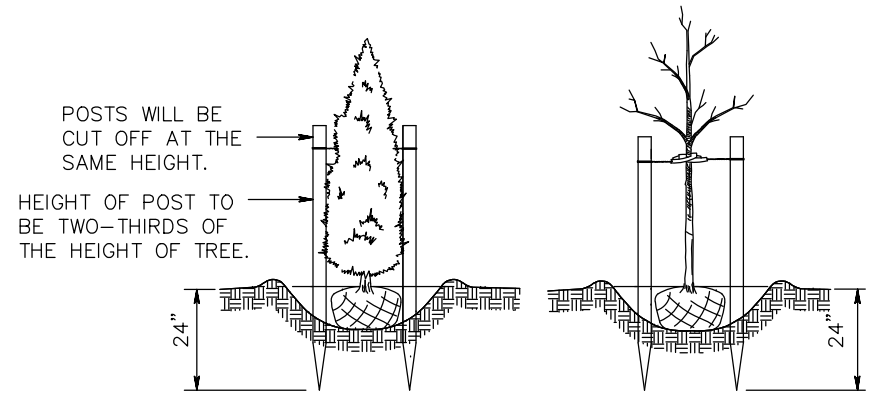
- Planting notes
- The contractor shall be responsible for planting at correct grades and alignment. Layout to be approved by owner's representative prior to installation.
 - Plants shall be typical of their species and variety; have normal growth habits; well-developed branches, densely foliated, vigorous root systems and be free from defects and injuries.
 - All plant material shall be guaranteed by the contractor to be in vigorous growing condition. Provision shall be made for a growth guarantee of at least two years from the date of final approval by the borough. Replacements shall be made at the beginning of the first succeeding planting season. All replacements shall have a guaranteed equal to that stated above.
 - Insofar as it is practicable, plant material shall be planted on the day of delivery. In the event this is not possible, the contractor shall protect stock not planted. Plants shall not remain unplanted for longer than a three day period after delivery.
 - Quality and size of plants, spread of roots, and size of balls shall be in accordance with ANSI Z60.1 (rev. 2001) "American Standard for Nursery Stock" as published by the American Nursery and Landscape Association.
 - All plants shall be planted in amended top soil that is thoroughly watered and tamped as back filling progresses. Planting mix to be as shown on planting details. Large planting areas to incorporate fertilizer and soil conditioners as stated in planting specifications.
 - Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be handled from the bottom of the ball only.
 - Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with accepted local practice. Plants shall not be installed in topsoil that is in a muddy or frozen condition. All plant material shall be sprayed with 'wilt-pruf' or equal as per manufacturer's instructions.
 - Set all plants plumb and straight. Set at such level that a normal or natural relationship to the crown of the plant with the ground surface will be established. Locate plant in the center of the pit.
 - All injured roots shall be pruned to make clean ends before planting utilizing clean, sharp tools. It is advisable to prune approximately 1/3 of the growth of large trees (2" caliper and over) by the removal of superfluous branches, those which cross, those which run parallel, etc. Main leader of trees will not be cut back. Long side branches, however, must be shortened.
 - Each tree and shrub shall be pruned in accordance with standard horticultural practice to preserve natural character of plant. Pruning shall be done with clean, sharp tools.
 - All planting beds shall be mulched with 3" layer of double shredded hardwood bark mulch.
 - New planting areas and sod shall be adequately irrigated or watered to establish the proposed plants and lawn.



TREE & SHRUB PLANTING DETAIL
NOT TO SCALE



TREES REQUIRING ONE STAKE
DECIDUOUS TREES (EXCEPT SALIX) 1" TO 1 1/2" CALIPER, INCLUSIVE.
CONE TYPE (PYRAMIDAL) TREES 3 FEET TO 5 FEET HIGH, AND
COLUMNAR EVERGREEN TREES 4 FEET TO 7 FEET HIGH, INCLUSIVE.



TREES REQUIRING TWO STAKES

DECIDUOUS TREES OVER 1 1/2" TO 2" CALIPER, INCLUSIVE. ALL
SALIX REGARDLESS OF HEIGHT, CALIPER, BARE ROOT OR BALLED AND
BURLAPPED. CONE TYPE (PYRAMIDAL) TREES 5 FEET TO 7 FEET HIGH
AND COLUMNAR EVERGREEN TREES 7 FEET TO 9 FEET HIGH, INCLUSIVE.

STAKING DETAILS
NOT TO SCALE

PRELIMINARY/FINAL MAJOR SITE PLAN
19 CARR AVENUE
BLOCK 11
LOTS 4, 5, 6 & 7
LANDSCAPE PLAN
SITUATED IN
BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

MoAtlantic
Engineering Partners, LLC

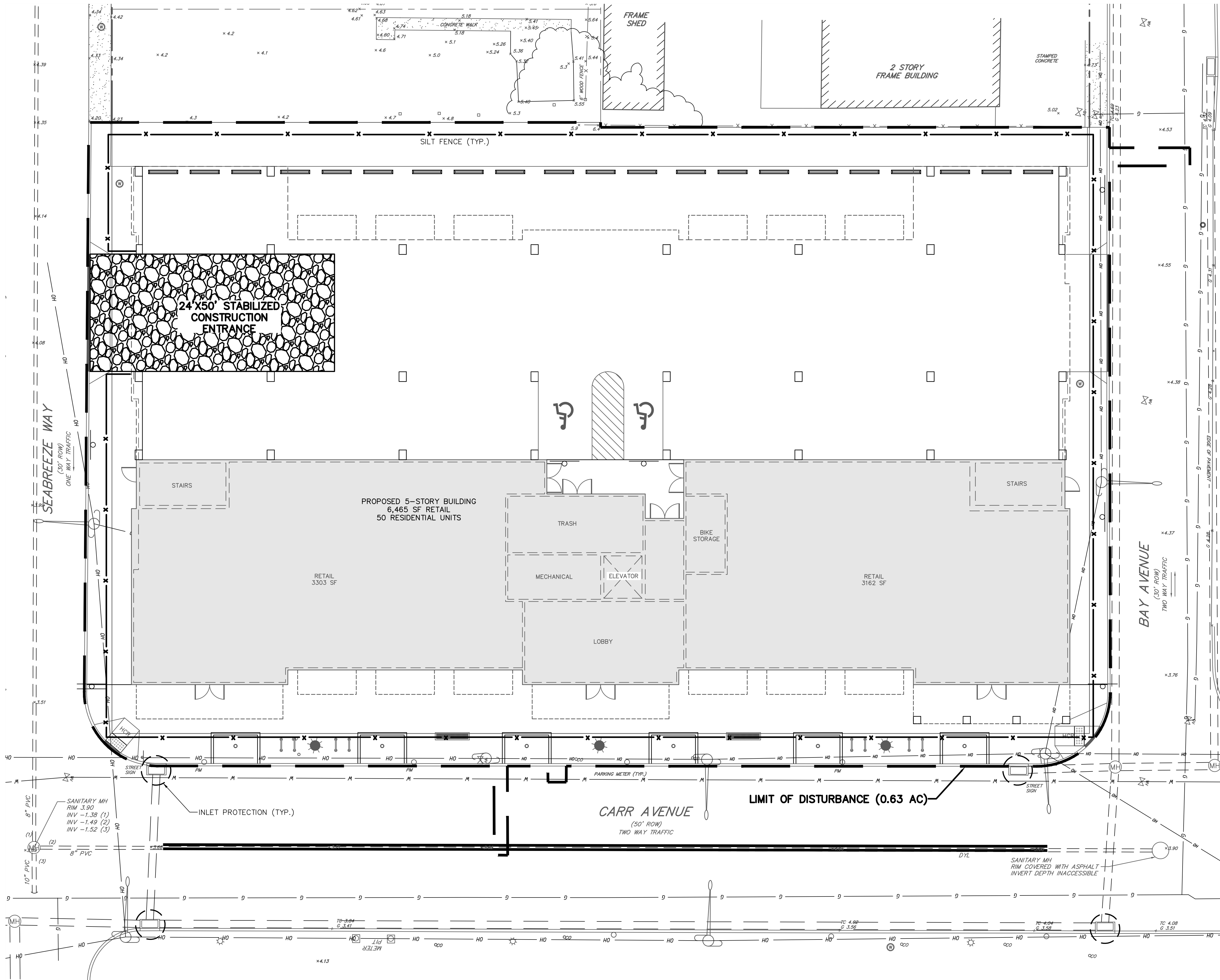
Gateway 195 Centre
Hamilton, NJ 08611
609-910-4450

Certificate of Authorization No. 24G438184000
Louis L. Zagorin IV P.E.
William J. Parkhill II P.E.

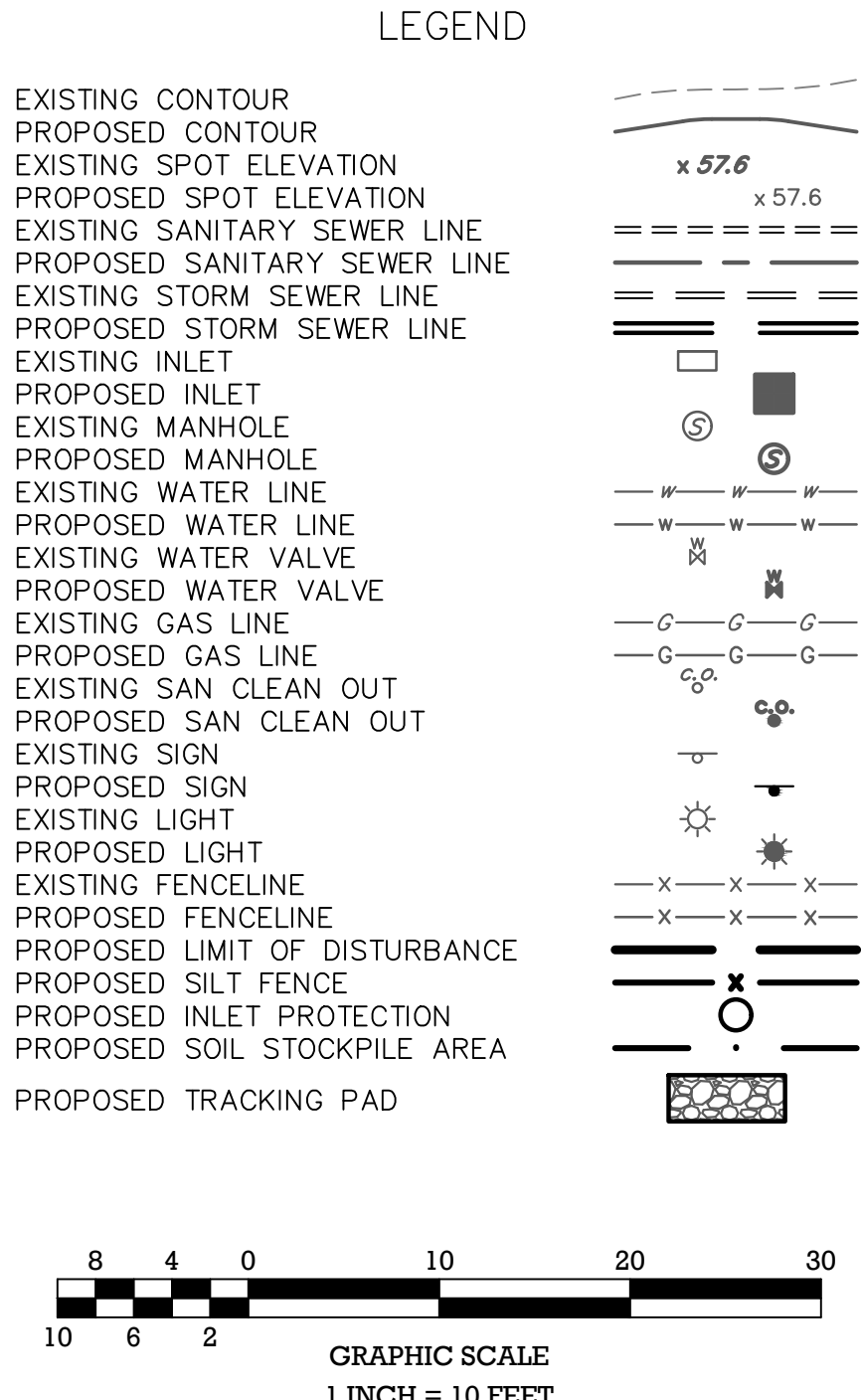
Gregory B. Domalewski, P.E.
PROFESSIONAL ENGINEER
N.J. Lic. No. G604869900

CHECKED BY:	RELEASED BY:	DATE:	PROJECT No.:	DRAWING NAME:	REVISIONS:	DRAWN BY:	CHECKED BY:
WJR	GBD	10/09/20	SEL-1912	06-Landscape.dwg			

Sheet Number
6 OF 10



- Soil Erosion & Sediment Control Notes**
1. Project site being known and designated as Block 11, Lots 4, 5, 6 & 7 as shown on the current tax assessment map of the Borough of Keansburg, Monmouth County, New Jersey (Sheet 3), containing 0.57 acres.
 2. Boundary, topographic information and existing conditions shown based upon map entitled "Boundary & Topographic Survey, Block 11, Lots 4, 5, 6, & 7, Tax Plate 3, 19 & 29 Carr Avenue, 19 Seabreeze Way, Situated in, Borough of Keansburg, Monmouth County, New Jersey" prepared by MidAtlantic Engineering Partners and dated 9/30/20.
 3. Horizontal datum: NAD 83 vertical datum: NAVD 88
 4. Property is located in Zone AE (EL11) per FEMA's Flood Insurance Rate Map numbered 34023C0034F, with an effective date of September 25, 2009. Property also located on Zone AE (EL11) per FEMA's Preliminary Flood Insurance Rate Map numbered 34025C0034G having a preliminary date of January 31, 2015.
 5. Site coordinates: 590,609' N 593,467' E
 6. Soil stockpiles to be placed as required within the project site and silt fence limits with silt fence placed around the perimeter in accordance with the soil erosion and sediment control details.
 7. All contractors must call the New Jersey One Call system (800-272-4000) in accordance with the Underground Facilities Control Act law prior to any subsurface activity.
 8. This plan has been prepared to address the Soil Erosion and Sediment Control component of the Stormwater Pollution Prevention Plan (SPPP) at time of design. All other components of the SPPP and general Stormwater Permit no. NIG0088323 to be the responsibility of the developer and/or site contractor.
 9. This plan is for Soil Erosion and Sediment Control measures only. This plan is not to be used for site construction.



PRELIMINARY/FINAL MAJOR SITE PLAN 19 CARR AVENUE BLOCK 11 LOTS 4, 5, 6 & 7 SOIL EROSION & SEDIMENT CONTROL PLAN SITUATED IN BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY		Date: 10/09/20 PROJECT No.: SE-1912 DRAWING NAME: 07-SESC.dwg		CHECKED BY: GBD RELEASED BY: GBD DATE: 10/09/20 HORIZONTAL SCALE: 1"=10' VERTICAL SCALE: N/A	REVISIONS	DRAWN BY	CHECKED BY
 MidAtlantic Engineering Partners, Inc. Louis L. Zugger IV P.E. William J. Parkhill II P.E. Certificate of Authorization No. 24GAS8184000 Gateway 195 Centre Hamilton, NJ 08901 609-510-4450				Gregory B. Domalewski, P.E. PROFESSIONAL ENGINEER N.J. Lic. No. 604869900			
				Sheet Number 7 OF 10			

THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITY.

ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.

N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SUPPORT WORK.

ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION, SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.

IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUIVALENT, AND A MULCH ANCHOR, FOLLOWING STATE STANDARDS.

A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.

THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATIONS OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1"-2")STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.

ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.

PERMANENT VEGETATION IS TO BE SEEDS OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.

AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT DOES NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A pH OF 4 OR LESS OR CONTAINING ROL SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 450LBS/1,000 SQ. YD.) OF LEAFAGE AREA AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A pH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.

CONDUIT OUTFALL PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

UNFILTERED DETERIORING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DETERIORATING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DETERIORATING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DETERIORATING.

SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.

STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.

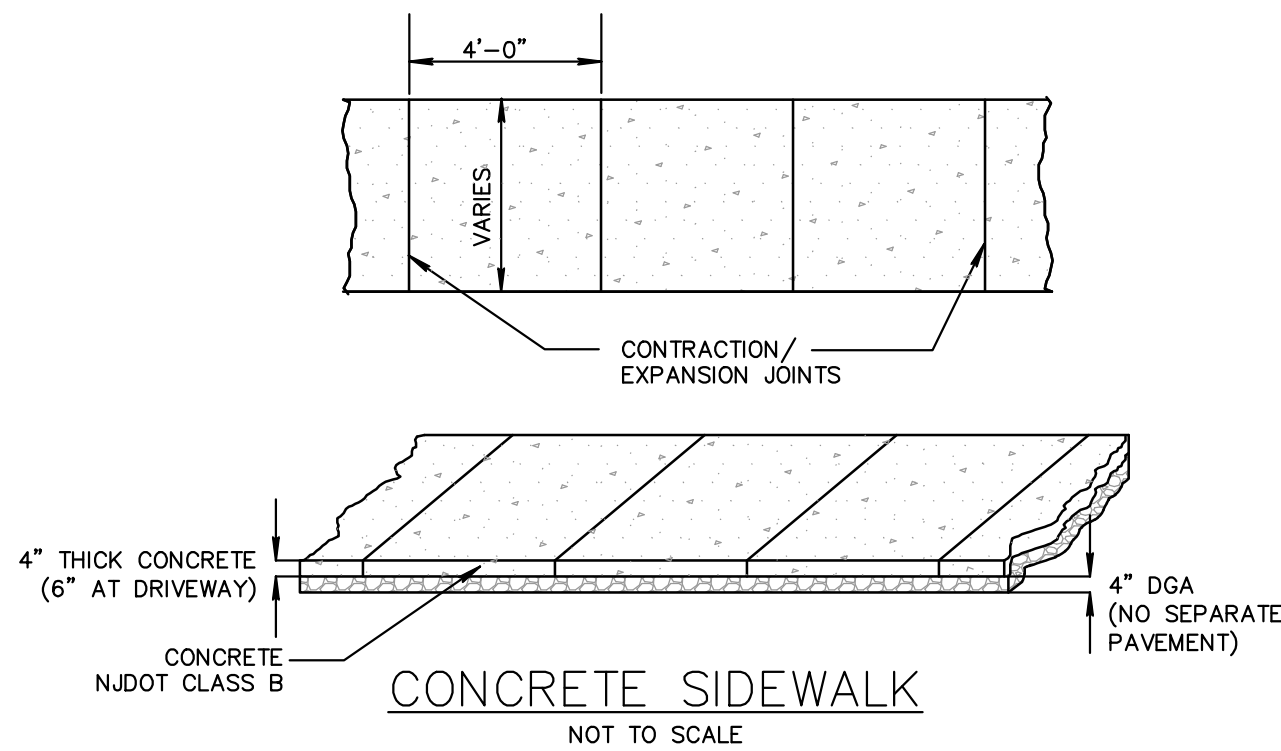
ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

CONSTRUCTION SEQUENCE

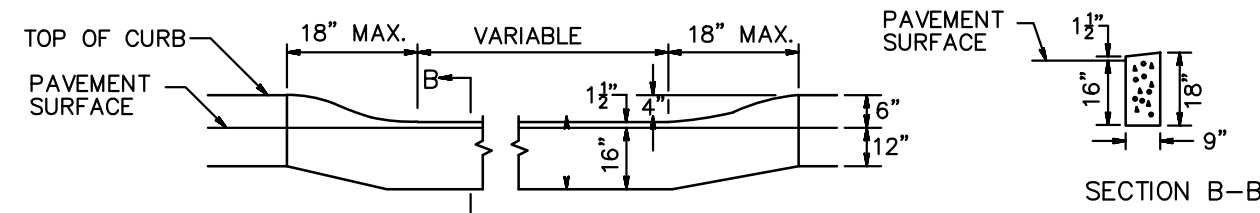
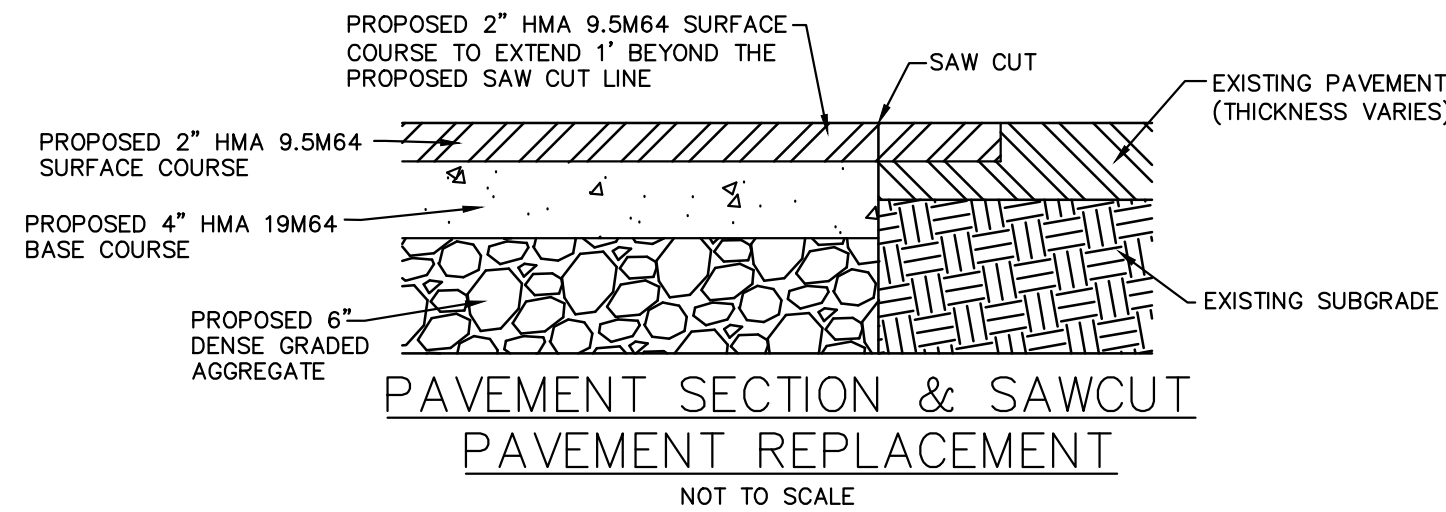
TEMPORARY SOIL EROSION FACILITIES
CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE
INSTALL SILT FENCE
DEMOLITION OF EXISTING STRUCTURES
ROUGH CLEARING AND GRADING
INLET PROTECTION
ROAD SUB-BASE
MAINTENANCE OF TEMPORARY EROSION
CONTROL MEASURES
BUILDING CONSTRUCTION

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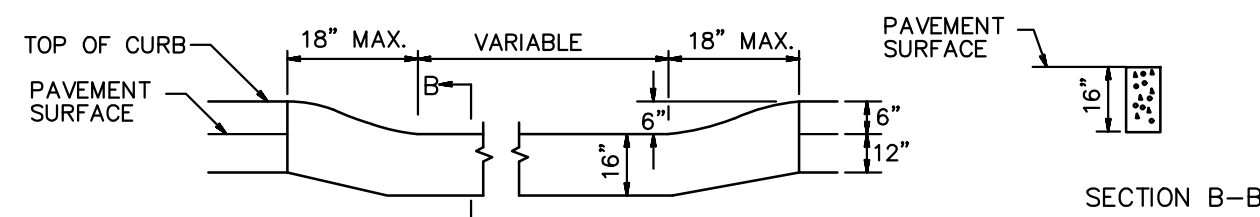


NOTES:

1. PREFORMED BITUMINOUS EXPANSION JOINTS, 1/2" THICK, 4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET.
2. CONTROL JOINTS SHALL BE INSTALLED EVERY 4 FEET THE FULL WALK WIDTH.
3. THERE SHALL BE A FLOAT FINISH WITH TOOLED EDGES.
4. IN ORDER TO MINIMIZE DISTURBANCE TO TREE ROOTS, SIDEWALK SHALL BE SHIFTED BACK ONE FOOT WITH AN INSIDE RADIUS OF APPROXIMATELY 12' AROUND ALL TREES.

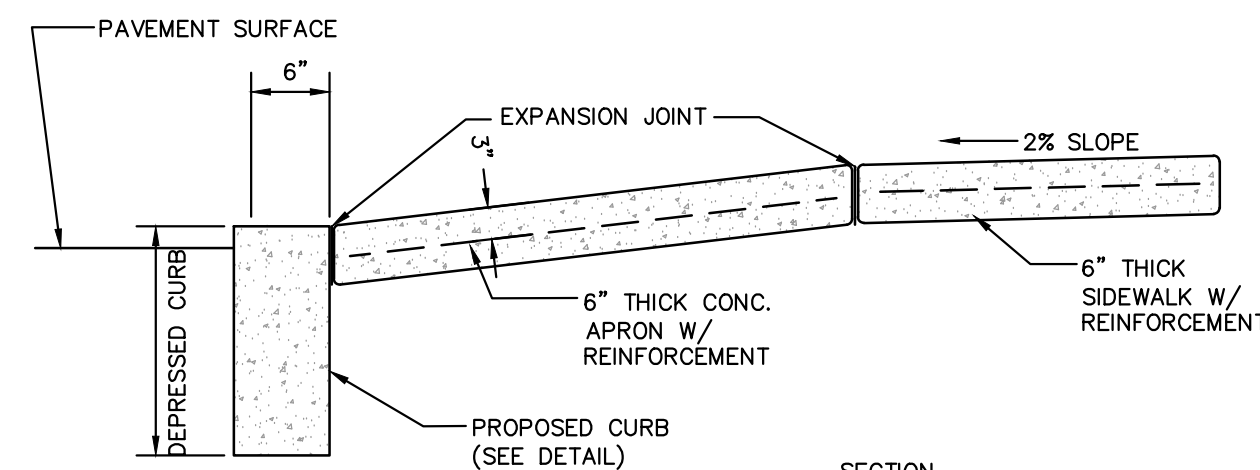


DEPRESSED CURB
(DRIVEWAY ACCESS NON-ADA)
NOT TO SCALE



DEPRESSED CURB
(PAVEMENT FLUSH FOR ADA)
NOT TO SCALE

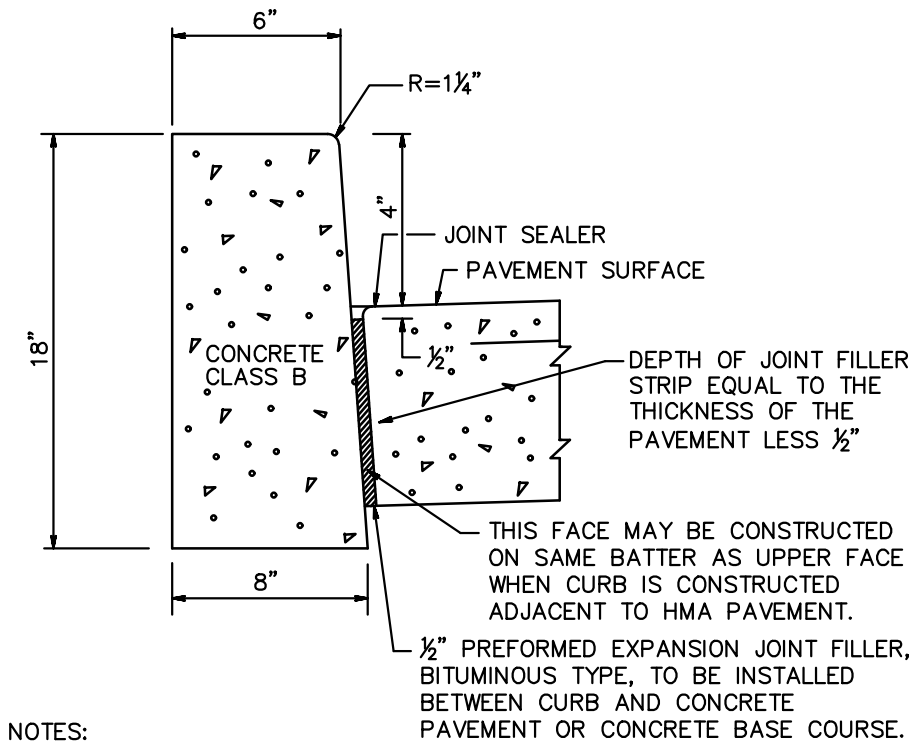
NOTE: MAX. CURB LIP SEPARATION UP TO 1/2" PER ADA SECTION 303.2.



NOTES:

1. PROVIDE PREFORMED BITUMINOUS EXPANSION JOINTS 1/2" THICK AT 20'-0" (MAXIMUM) INTERVALS. PROVIDE CONTRACTION JOINTS EVERY 4 FEET.
2. PROVIDE WELDED WIRE FABRIC REINFORCEMENT, TYPE 6X6=W2.9XW2.9 AT DRIVEWAY APRONS.
3. CONCRETE SHALL BE CLASS "B" PORTLAND CEMENT HAVING A 28 DAY STRENGTH OF 4500 PSI.

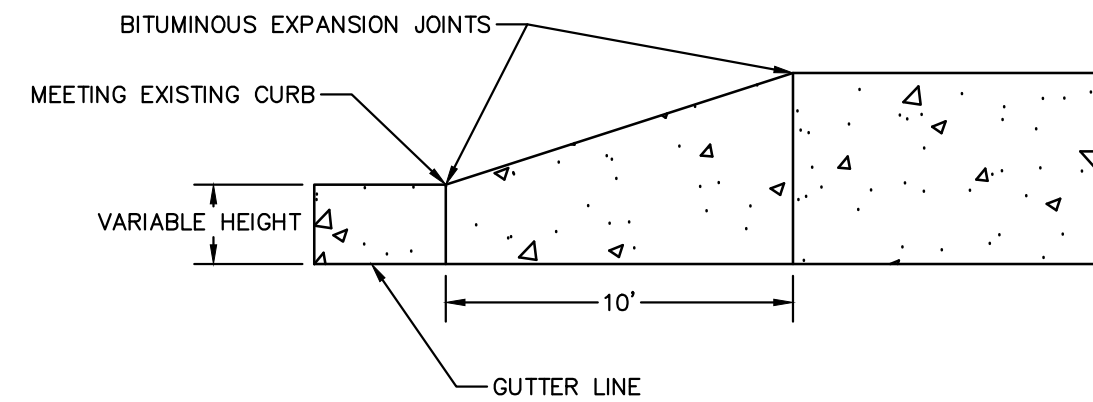
DRIVEWAY APRON DETAIL
NOT TO SCALE



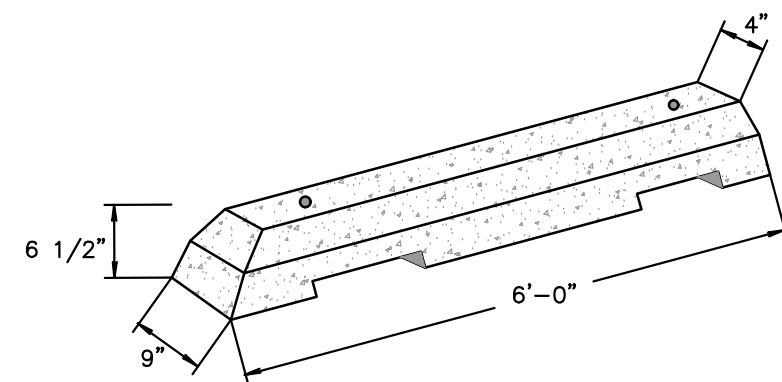
NOTES:

1. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20 FEET APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
2. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.
3. FACE FORM CURB WHERE CONCRETE SLABS ARE TO REMAIN.

CONCRETE VERTICAL CURB (6" WIDE)
NOT TO SCALE

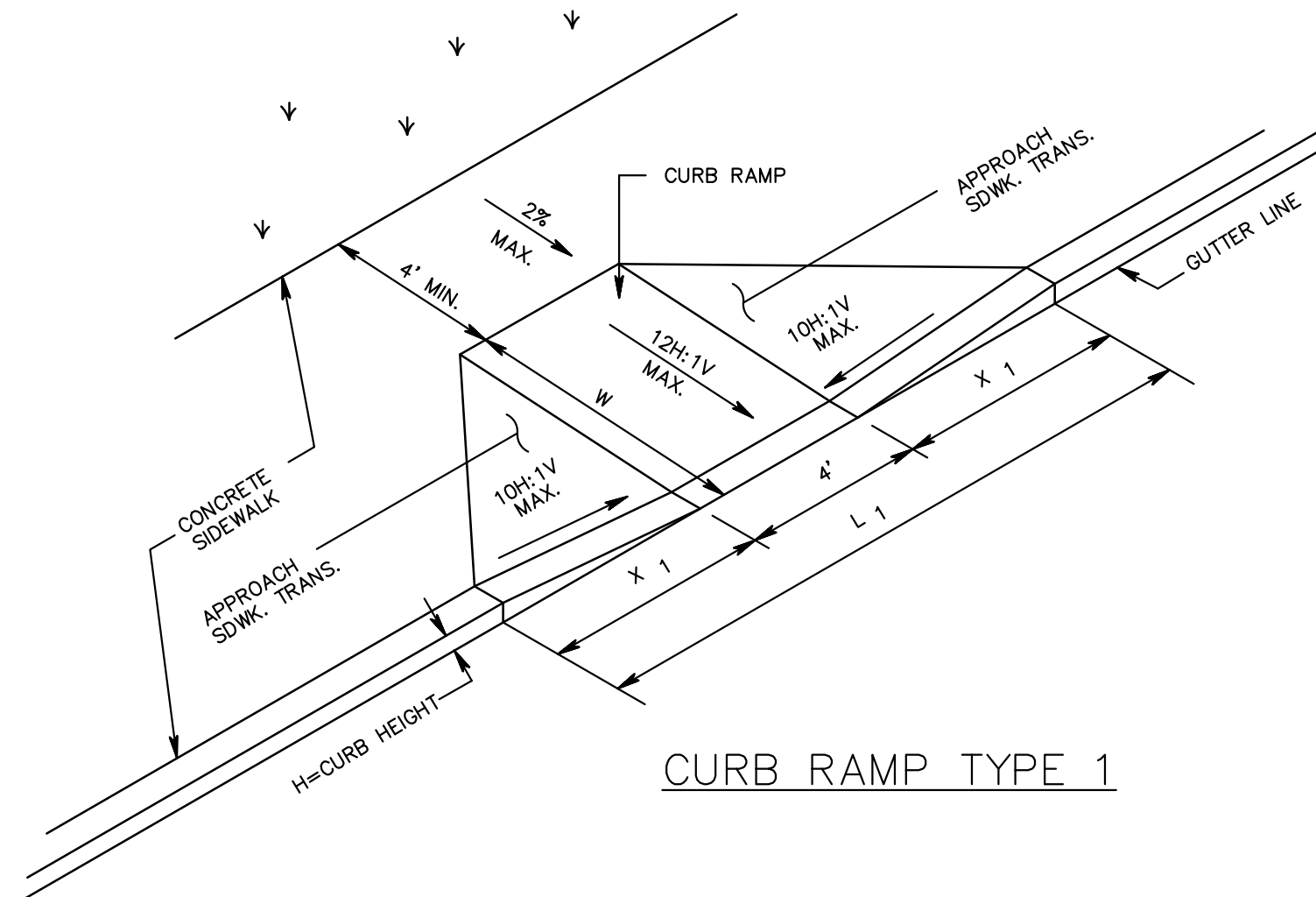


TAPERED CURB DETAIL
NOT TO SCALE



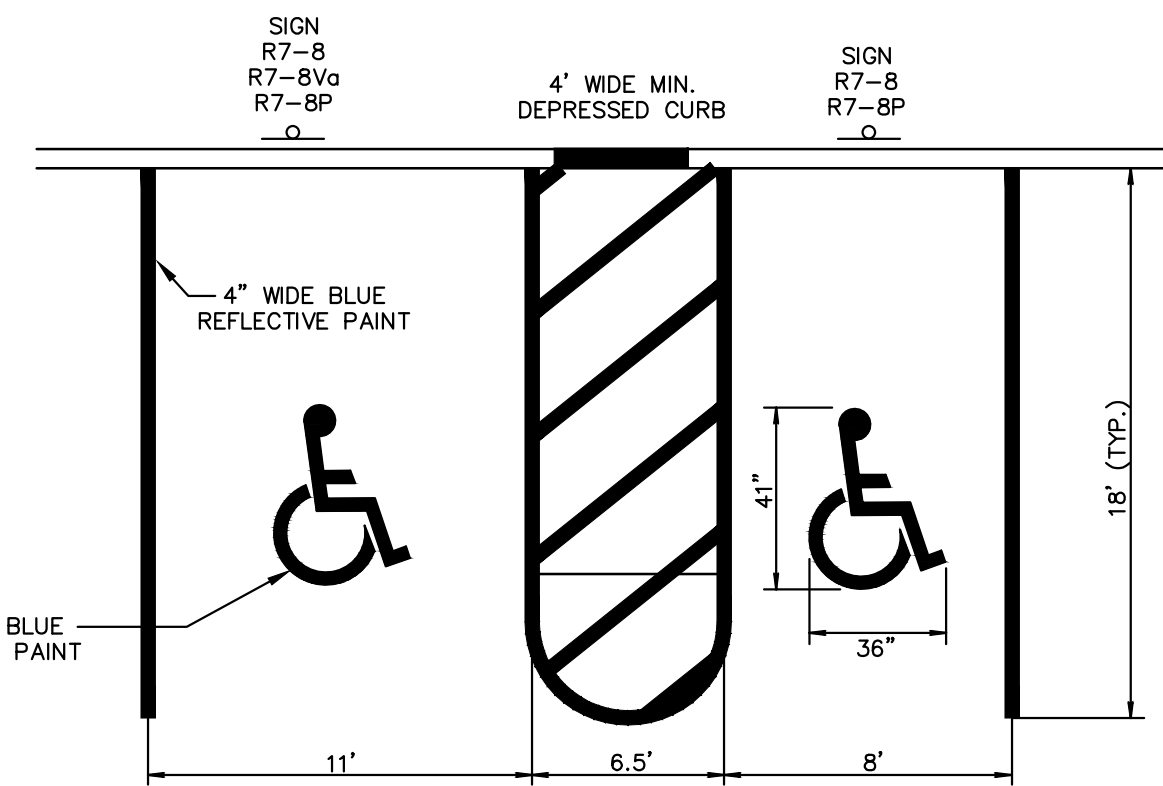
PRECAST CONCRETE WHEEL STOP
NOT TO SCALE

NOTE: WHEEL STOP TO BE COMPRISED OF DURABLE 5000 PSI AIR-ENTRAINED CONCRETE. WHEEL STOP TO ALSO BE REINFORCED WITH TWO #4 REBARS.

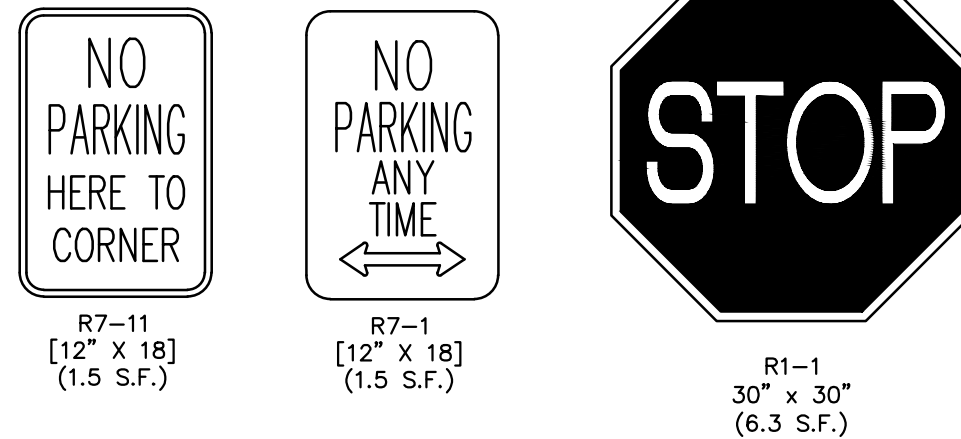
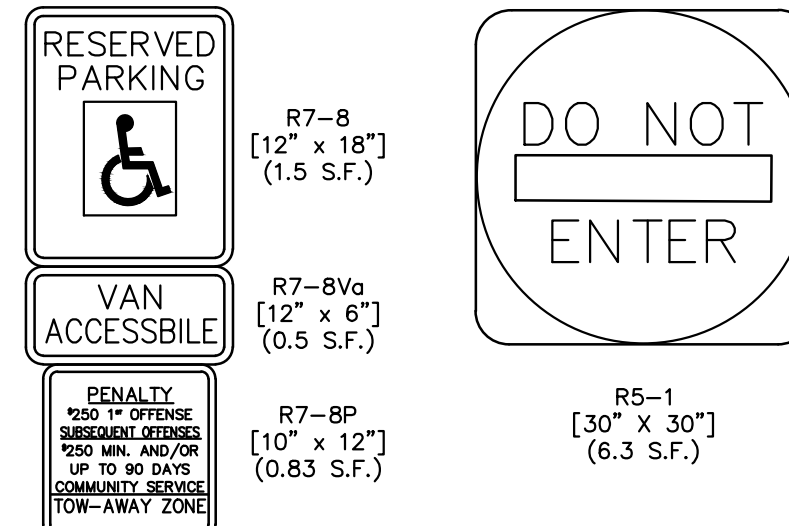


CURB RAMP TYPE 1

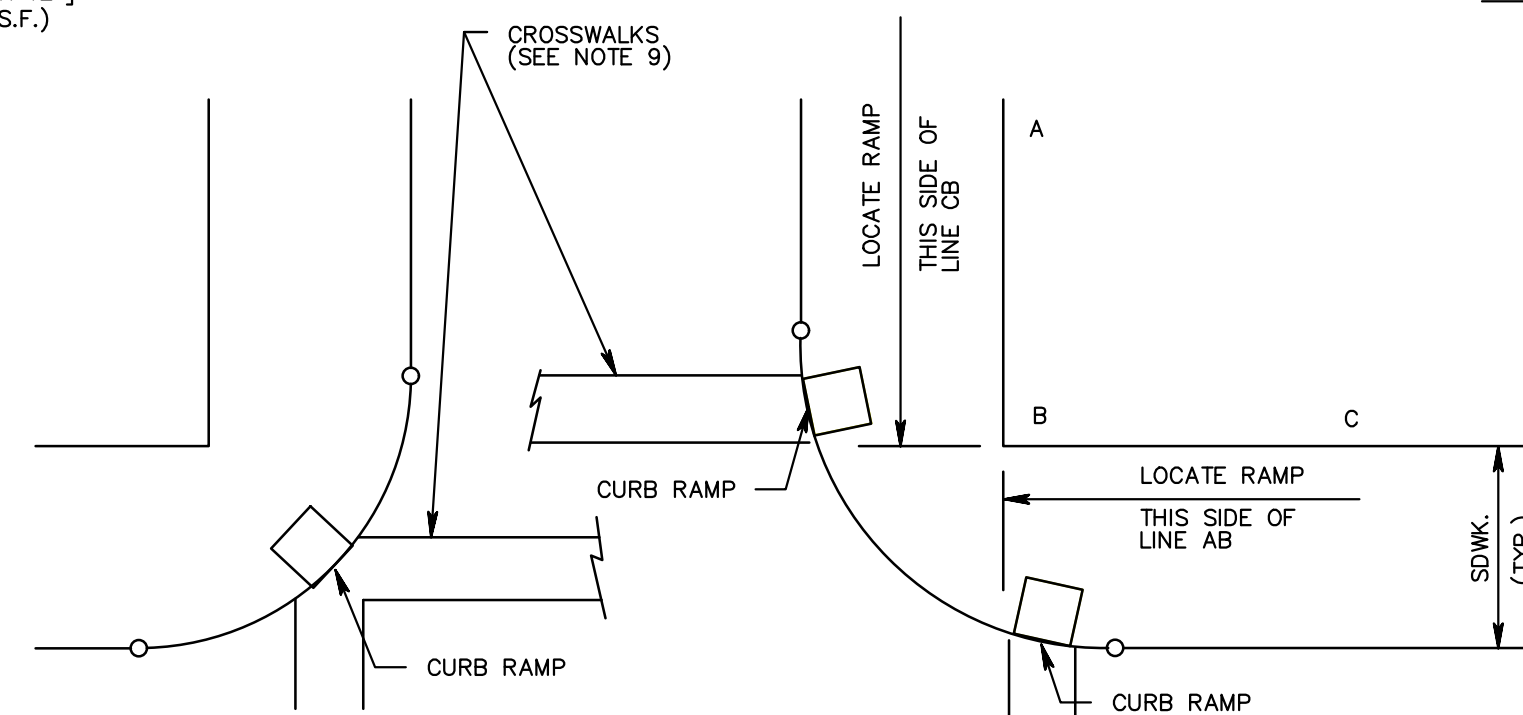
CURB RAMP TYPE 1			
H INCHES	X 1 FEET	L 1 FEET	W FEET
3	2.5	9.0	3
4	3.3	10.6	4
5	4.2	12.4	5
6	5.0	14.0	6
7	5.8	15.6	7
8	6.7	17.4	8
9	7.5	19.0	9



HANDICAP PARKING STALL STRIPING
NOT TO SCALE



R6-1L [36" x 12"] (3 S.F.)



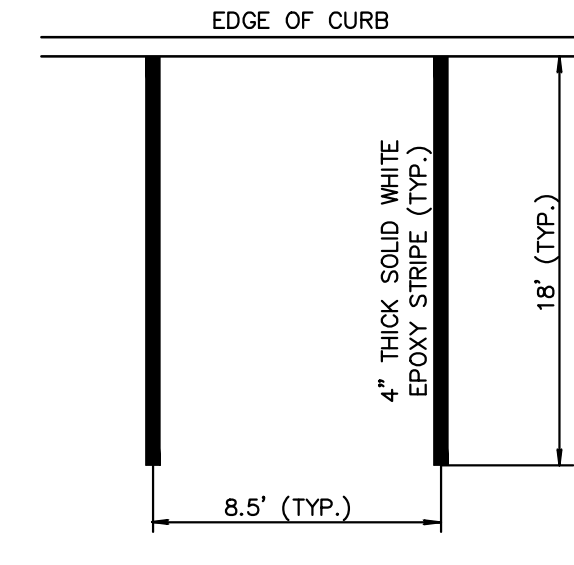
ALTERNATE TREATMENT
(SEE NOTE 10)

PREFERRED TREATMENT
(SEE NOTE 10)

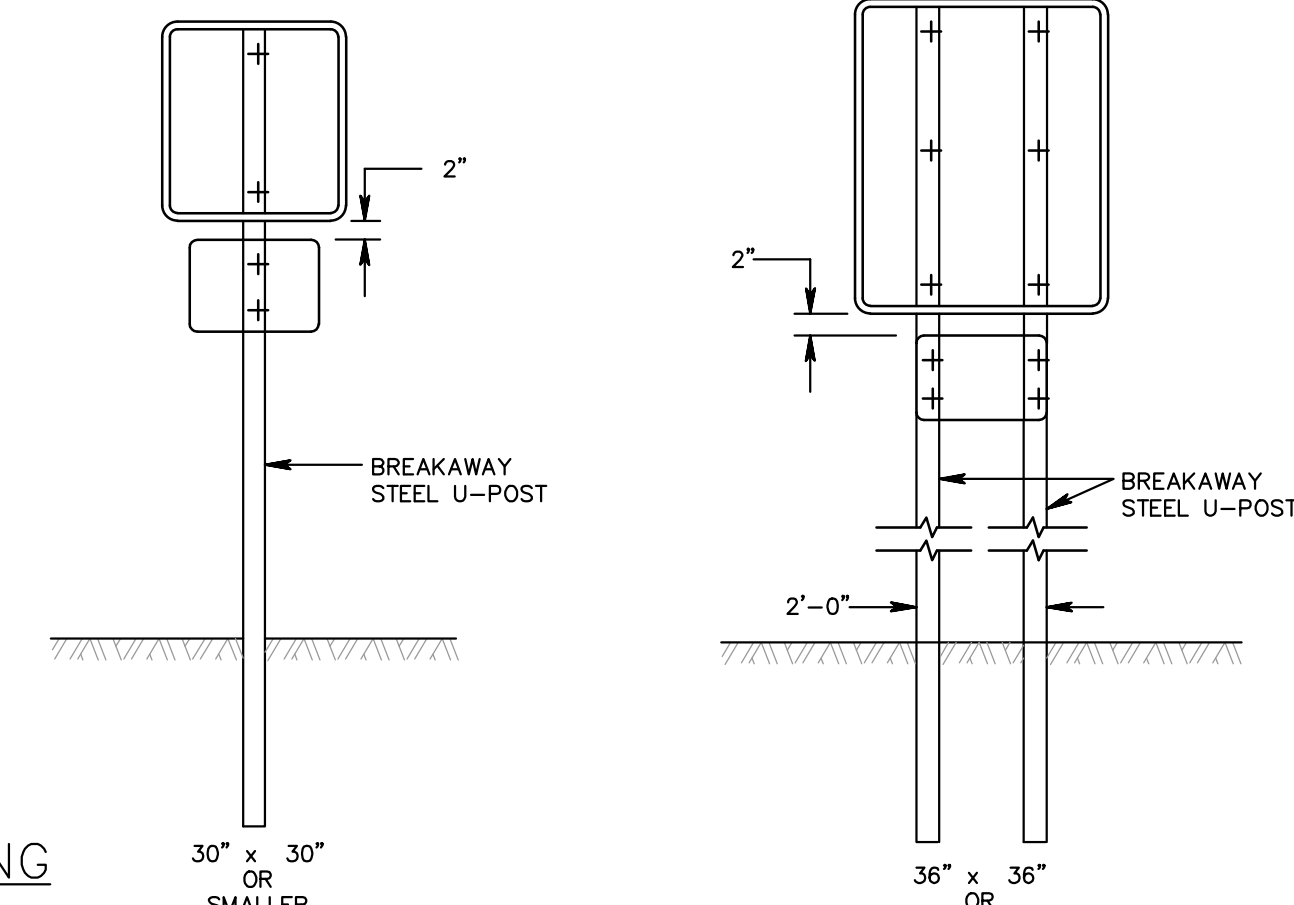
LOCATION OF CURB RAMP TYPES 1, 2, 3, 4 & 7
FOR CROSSING PARALLEL AND PERPENDICULAR
TO HIGHWAY

GENERAL NOTES:

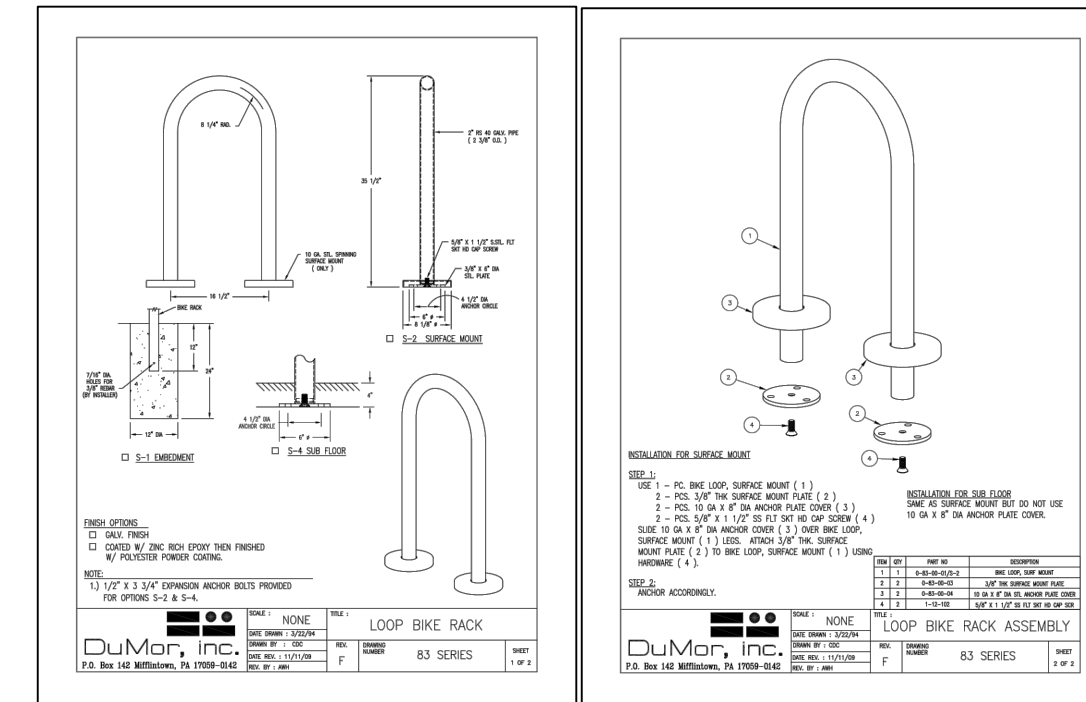
1. LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
2. DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
3. CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMP.
4. FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
5. SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
6. CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
7. WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
8. THE PUBLIC SIDEWALK CURB RAMP, DETECTABLE WARNING SURFACE (SHADED AREA) SHALL BE SAFETY RED COLOR ON CONCRETE OR 70% COLOR CONTRAST FOR OTHER SURFACE SUCH AS BRICK.
9. CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.
10. PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERMIXED WITHIN THE SAME INTERSECTION.
11. DIMENSIONS SHOWN IN TABLES ARE FOR 3 INCH TO 9 INCH CURB HEIGHTS. WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMP WILL HAVE TO BE CALCULATED BASED ON CROSS SLOPES SHOWN.



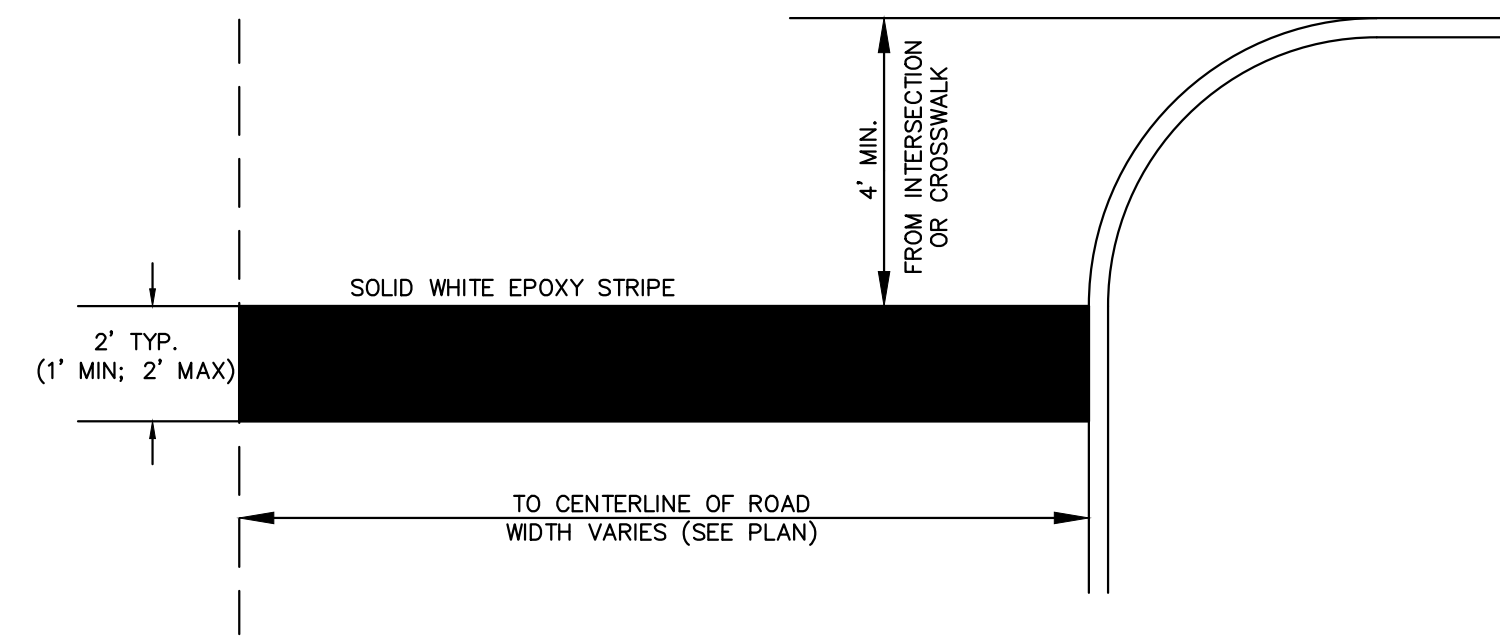
TYPICAL PARKING STALL STRIPING
NOT TO SCALE



BREAKAWAY SIGN POST
NOT TO SCALE



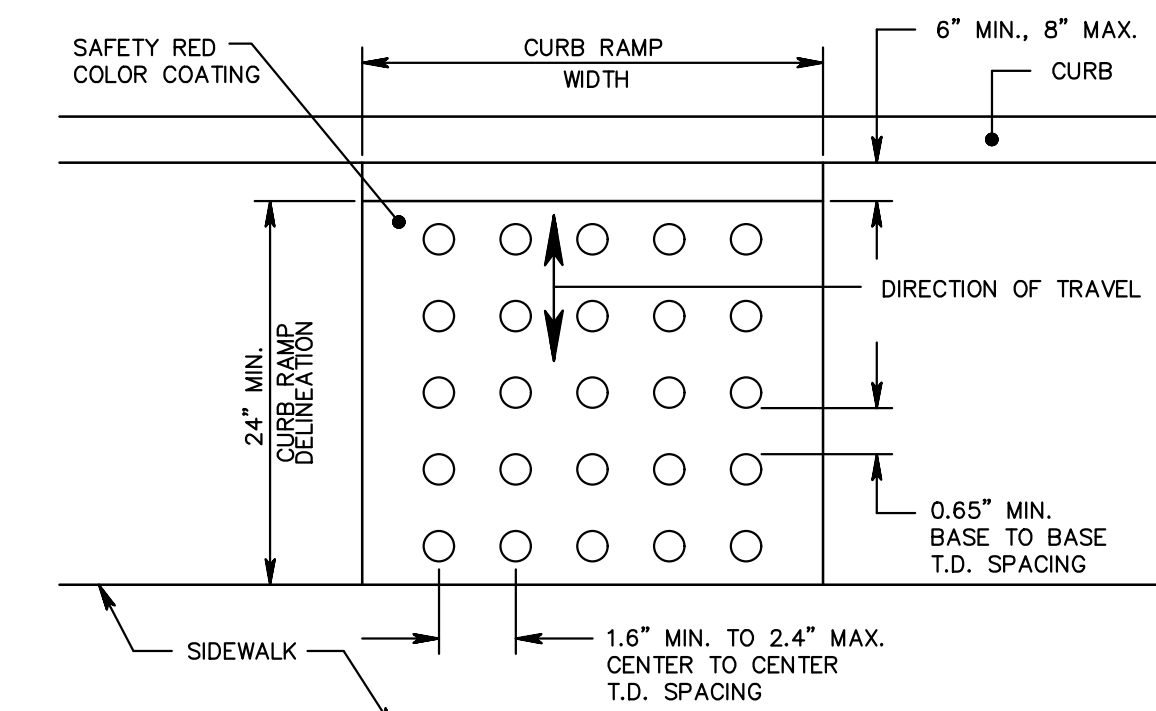
BIKE RACK (TYP.)
NOT TO SCALE



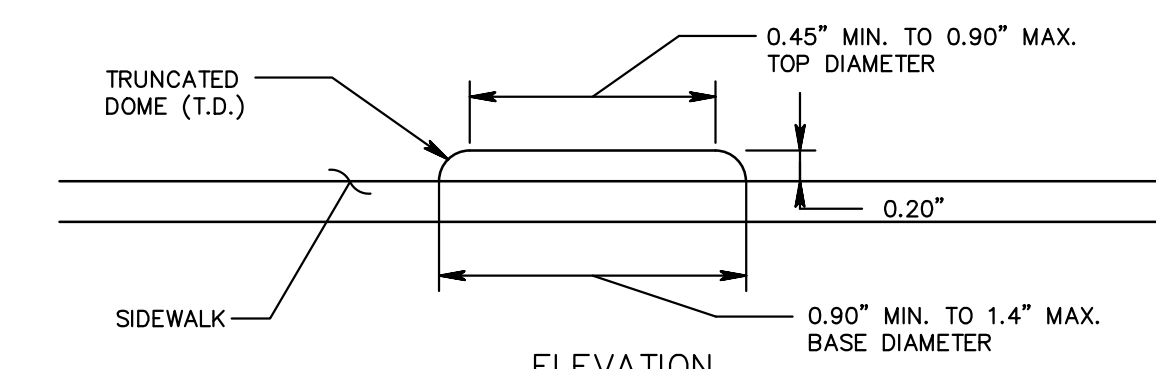
STOP BAR DETAIL
NOT TO SCALE

NOTE:

1. IF A CROSSWALK EXISTS AT THE INTERSECTION, THEN THE STOP BAR SHALL BE PLACED A MINIMUM OF 4 FEET AWAY FROM THE CROSSWALK. IF NO CROSSWALK EXISTS, THEN THE STOP BAR SHALL BE PLACED A MINIMUM OF 4 FEET AWAY FROM THE INTERSECTION.



PLAN VIEW



ELEVATION

DETECTABLE WARNING SURFACE

PRELIMINARY/FINAL MAJOR SITE PLAN
19 CARR AVENUE
BLOCK 11
LOTS 4, 5, 6 & 7
CONSTRUCTION DETAILS
SITUATED IN
BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

Released By: GBD
Checked By: GBD
Drawn By: WJR
Date: 10/09/20
Project No.: SE-1912
Drawing Name: 08-Details.dwg

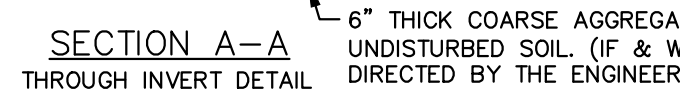
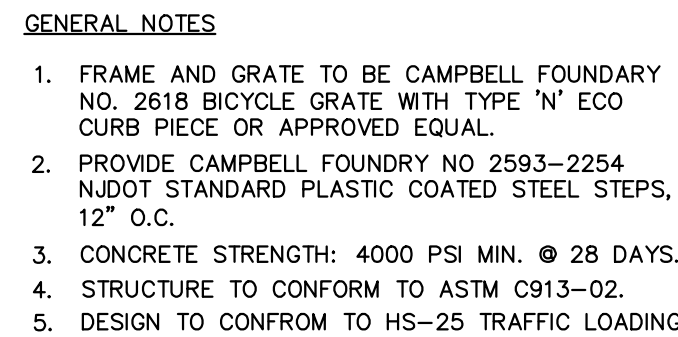
Gregory B. Domalewski, P.E.
PROFESSIONAL ENGINEER
N.J. Lic. No. 624869900

Gateway 196 Centre
Hamilton, NJ 08691
609-510-4450

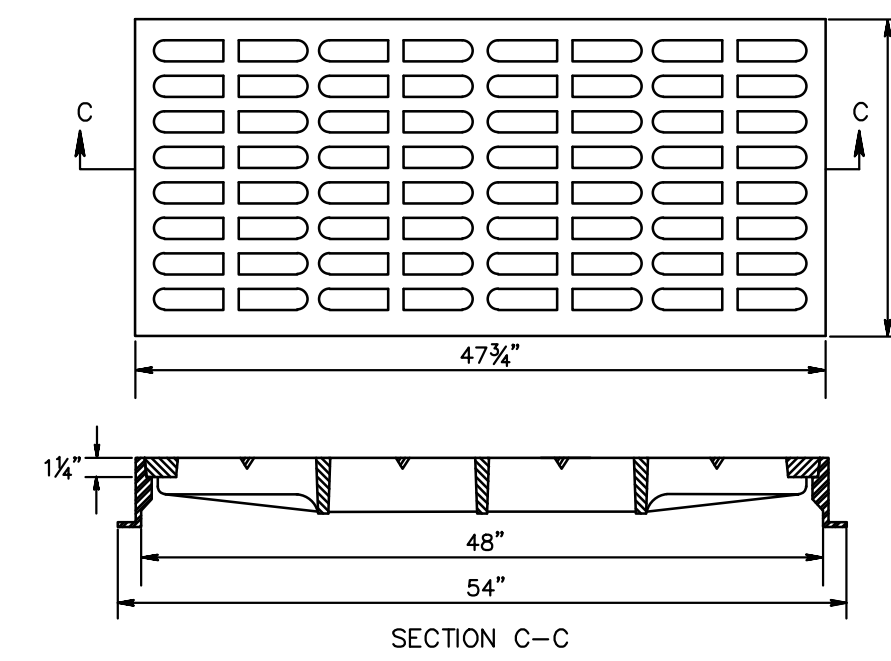
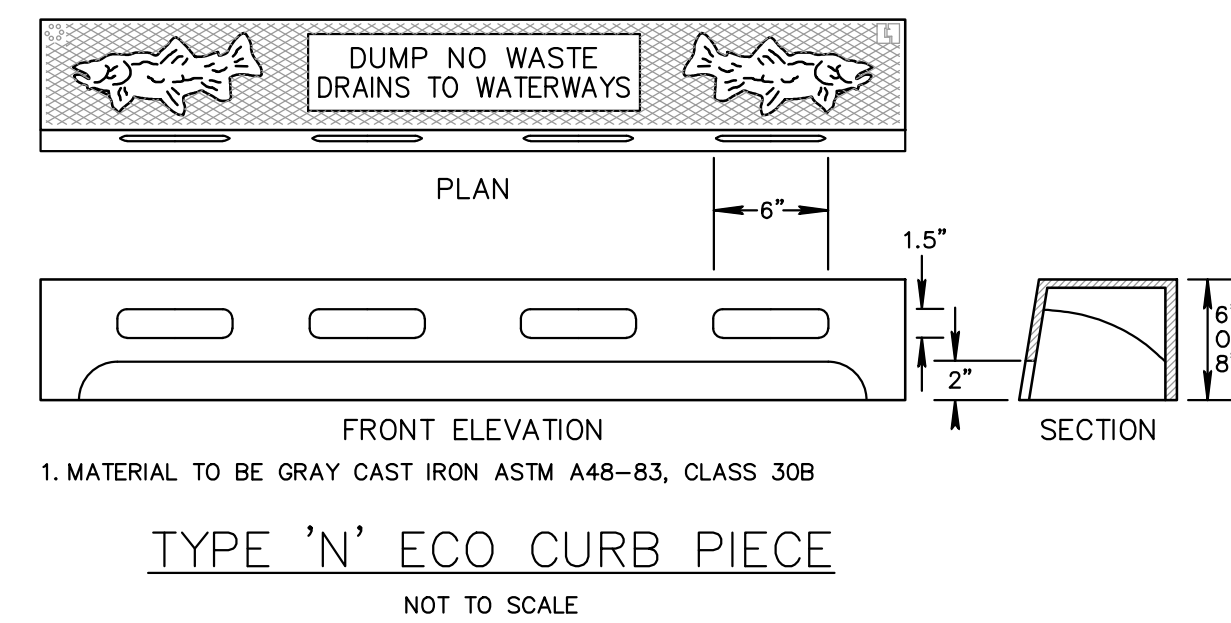
MoAtlantic
Engineering Partners, LLC

Certificate of Authorization No. 24G438184000
Louis L. Zagorin IV P.E. PE No. GE04262800
William J. Parcell II P.E. PE No. GE04753800

Sheet Number
9 OF 10

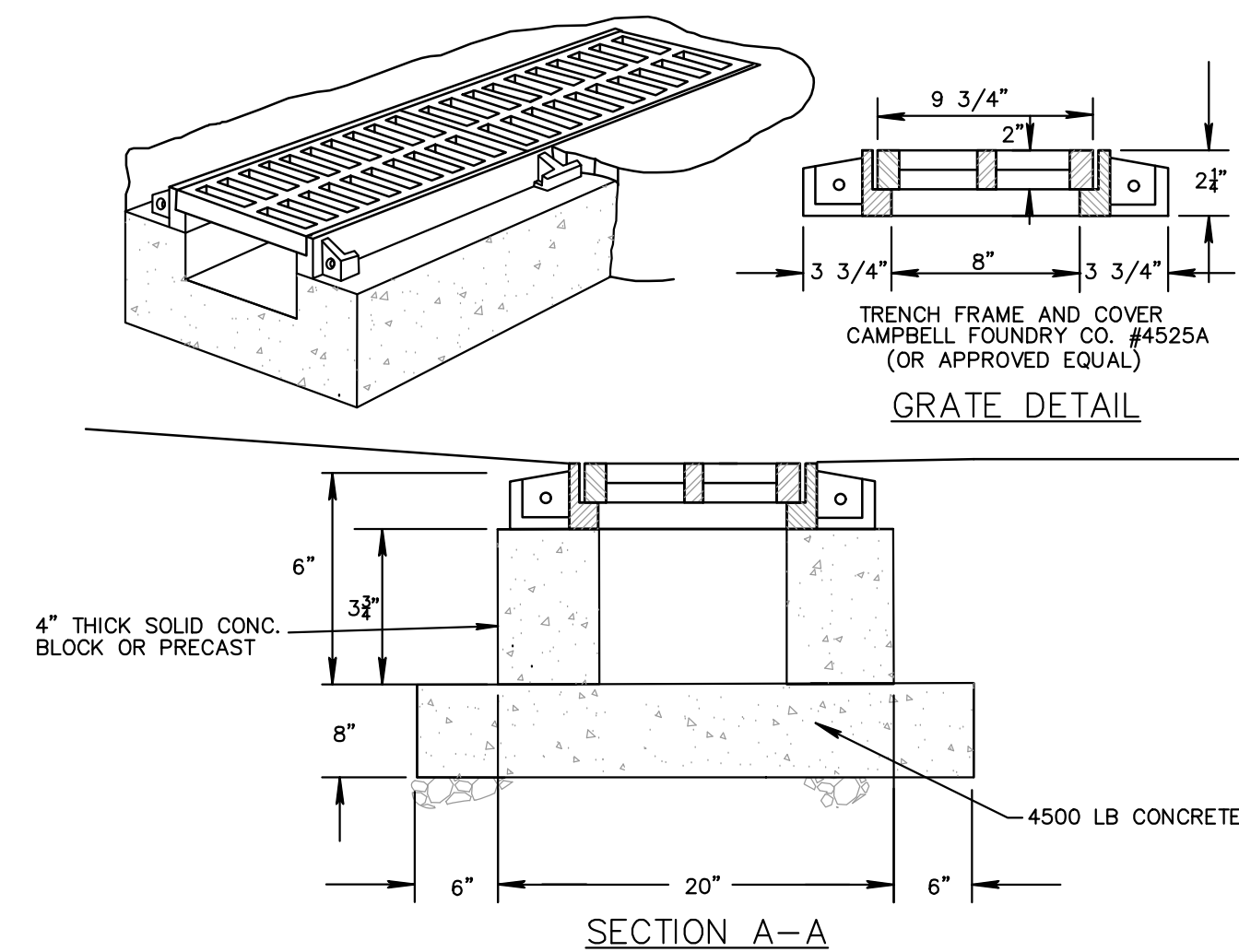


DOGHOUSE TYPE 'B' INLET

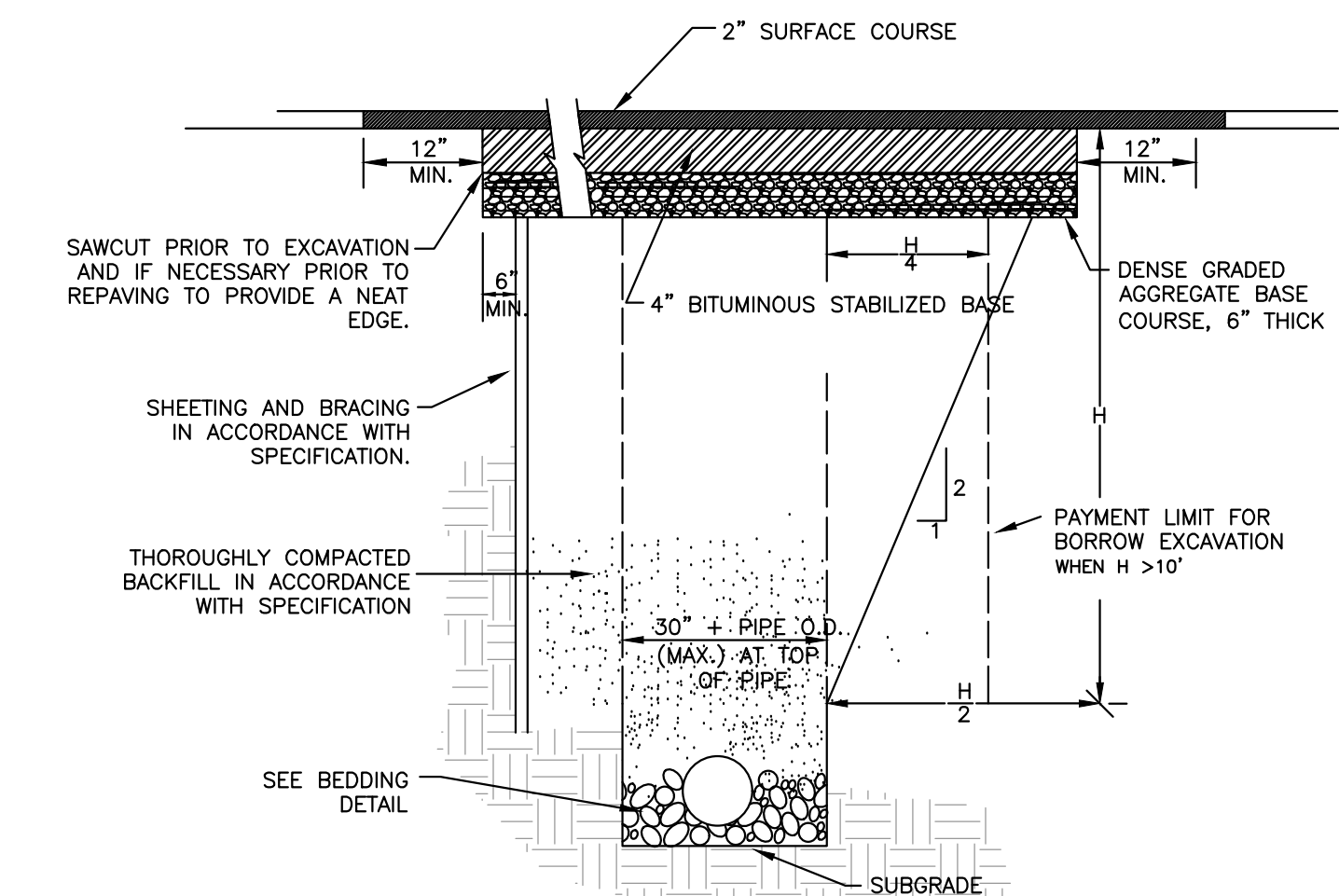


NOTE:
 -FOR TYPE 'B' INLETS BRIDGESTATE FOUNDRY NO 2618
 BICYCLE SAFE GRATE OR APPROVED EQUAL
 -FOR TYPE 'E' INLETS BRIDGESTATE FOUNDRY NO 3425
 BICYCLE SAFE GRATE OR APPROVED EQUAL
 -FOR TYPE 'A' INLETS BRIDGESTATE FOUNDRY NO 3405
 BICYCLE SAFE GRATE OR APPROVED EQUAL

BICYCLE SAFE GRATE
NOT TO SCALE



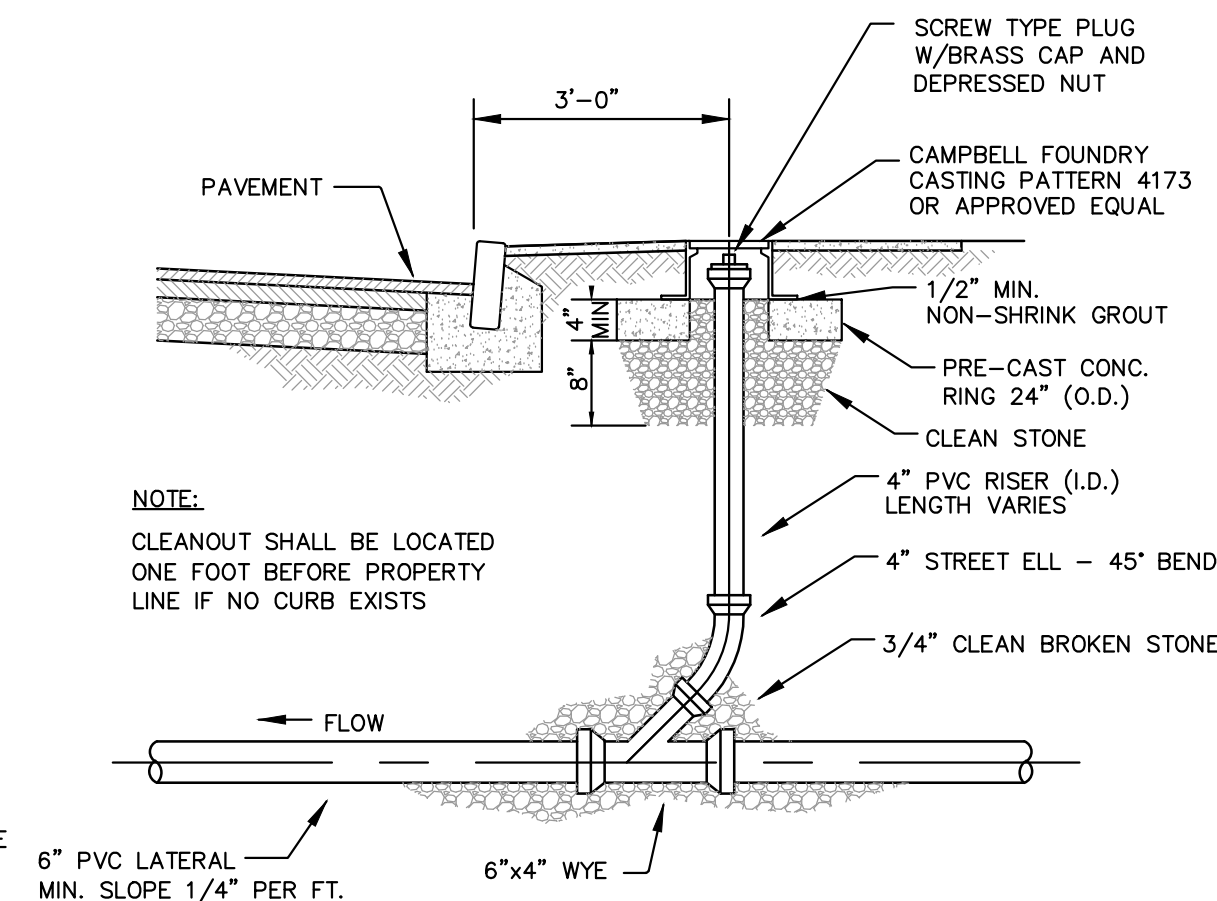
TRENCH DRAIN DETAIL
NOT TO SCALE



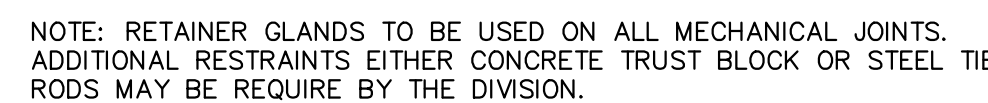
CONSTRUCTION NOTES:

1. MAXIMUM PAYMENT WIDTH FOR BORROW EXCAVATION SHALL BE 30" + PIPE O.D., WHEN PLACED IN A TRENCH WITH DEPTH OF 10' OR LESS TO THE TOP OF THE PIPE. FOR TRENCHES OF GREATER DEPTH, THE MAXIMUM PAYMENT WIDTH FOR BORROW EXCAVATION SHALL BE 30" + PIPE O.D. + H/2.
2. AT MANHOLES, BITUMINOUS STABILIZED BASE IS TO BE PLACED 6" BEYOND THE TRENCH LIMIT OR 6" BEYOND DAMAGED PAVEMENT BASE COURSE WHICHEVER IS GREATER.
3. THE NEW TRENCH REPAIR MADE WITH 6" OF STABILIZED BASE COURSE ASPHALT SHALL BE ALLOWED TO SETTLE FOR A PERIOD BETWEEN 3-6 MONTHS BEFORE MILLING AND PAVING WITH 2" OF SURFACE COURSE.
4. SERVICE CONNECTION TRENCHES ARE TO BE REPAIRED AS ABOVE EXCEPT MAXIMUM OVERLAY PAY WIDTH SHALL BE 6". PAYMENT SHALL BE INCLUDED IN LINEAR FOOT MEASUREMENT FOR SEWER MAIN. NO SEPARATE PAYMENT WILL BE MADE FOR SERVICE TRENCHES.
5. ANY SUPERFICIAL SURFACE DAMAGE CAUSED BY THE CONTRACTOR OUTSIDE THE LIMIT SHOWN, SHALL BE PAVED WITH SURFACE COURSE. WHEN THE BASE COURSE OF THE EXISTING PAVEMENT IS DAMAGED BEYOND THE LIMIT SHOWN THE CONTRACTOR SHALL EXCAVATE 6" BEYOND THE DAMAGED AREA AND REPLACE IT WITH BITUMINOUS STABILIZED BASE COURSE. NO ADDITIONAL PAYMENT WILL BE MADE FOR THIS EXTRA PAVEMENT.

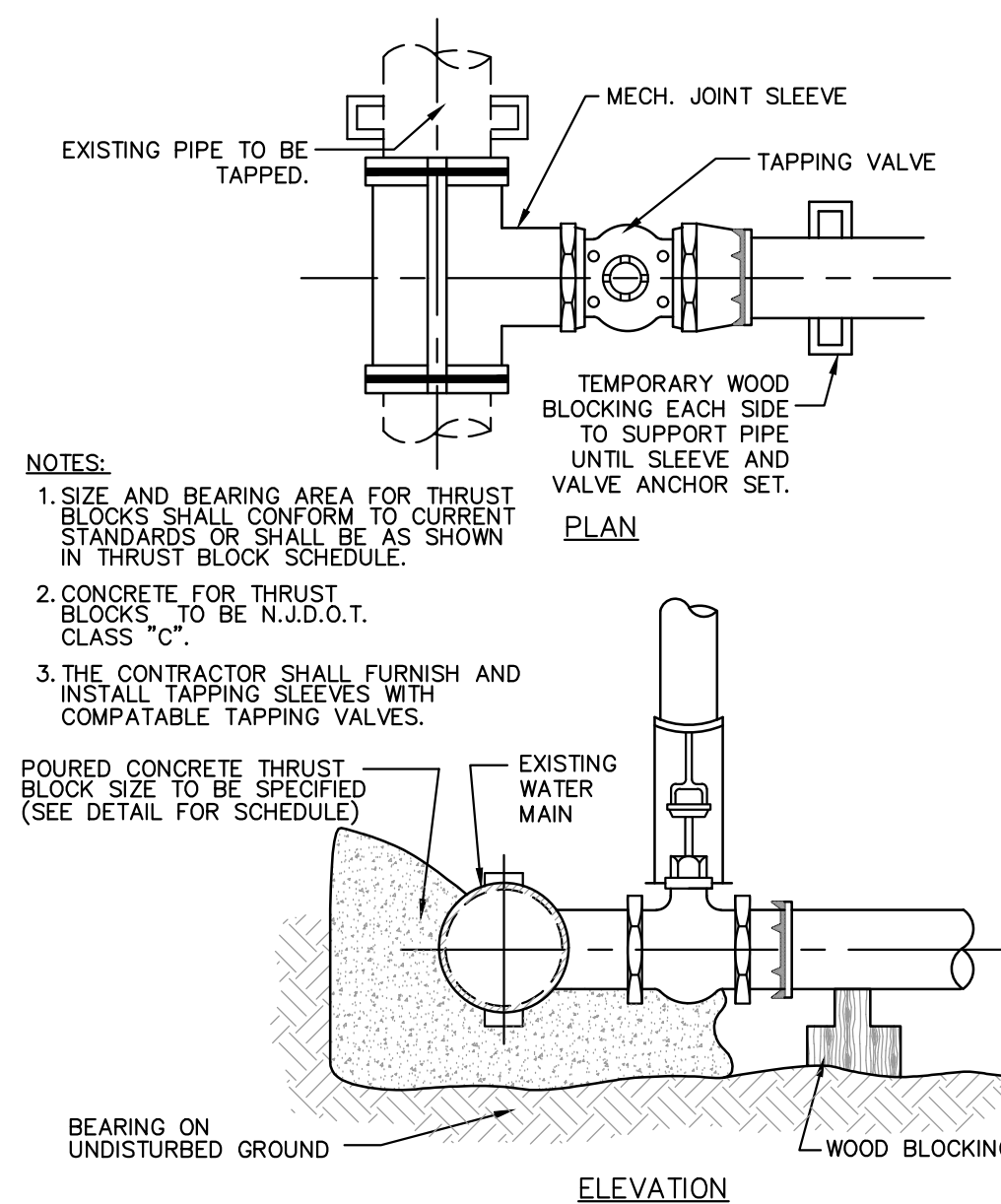
TYPICAL TRENCH & PAVEMENT REPAIR
N.T.S.



CLEANOUT AT CURB DETAIL
NOT TO SCALE

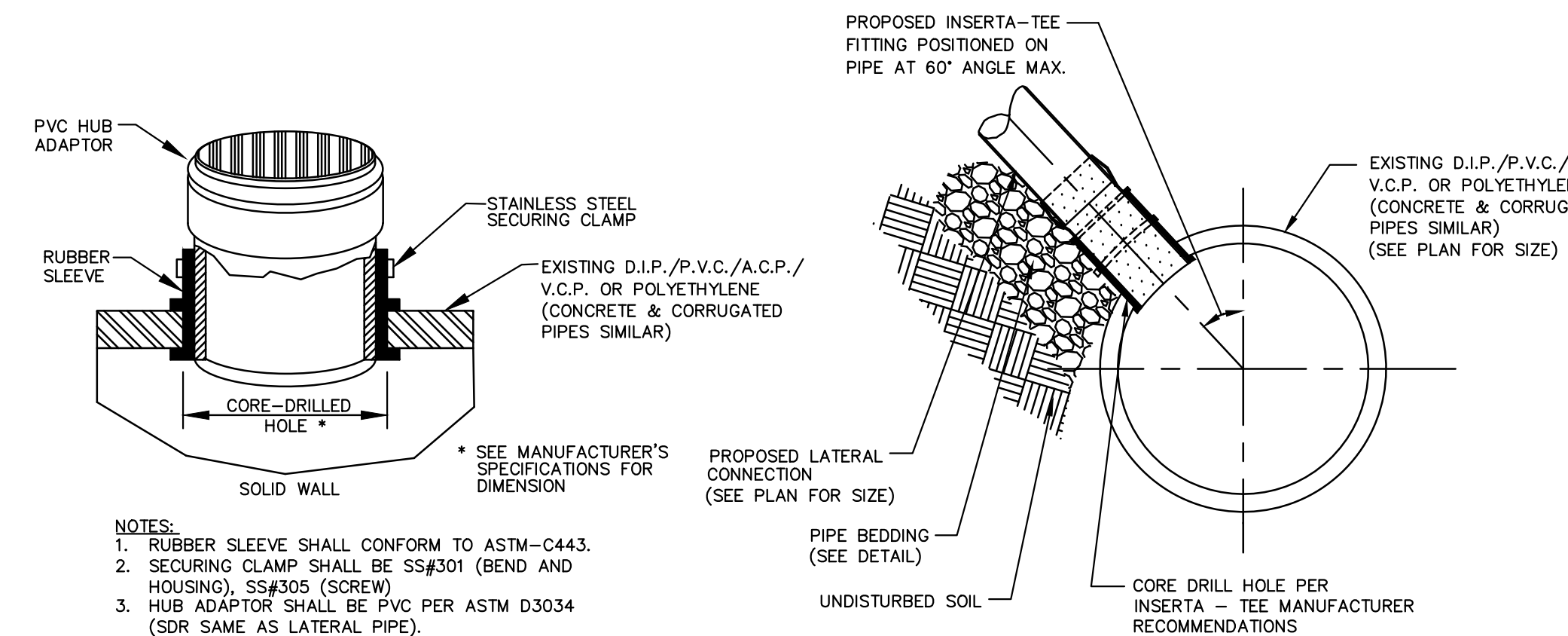


TYPICAL INSTALLATION OF
4"–12" SERVICES
NOT TO SCALE



WET TAP ASSEMBLY


NOT TO SCALE



INSERTA TEE CONNECTION DETAIL

NOT TO SCALE

DRAWN BY:	CHKD BY:	RELEASED BY:					
MJR	GBD	GBD					
DATE:	HORIZONTAL SCALE:	VERTICAL SCALE:					
10/09/20	N/A	N/A					
PROJECT NO:	SEI-1912						
DRAWING NAME:	GB-Details.dwg						
	DATE	REVISIONS					
	DRAWN BY	CHECKED BY					

Date: 10/9/20

 Gregory B. Domalewski, P.E.
 PROFESSIONAL ENGINEER
 N.J. Lic. No. GE04809900

PRELIMINARY/FINAL MAJOR SITE PLAN
19 CARR AVENUE
BLOCK 11
LOTS 4, 5, 6 & 7
CONSTRUCTION DETAILS

CONSTRUCTION DETAILS
SITUATED IN
BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

McAtlantic
Engineering Partners, LLC

Certificate of Authorization No. 24-GA-028 194-000

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Louis L. Zengler IV P.E.
William J. Pritchett III P.E.
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Sheet Number
10 OF **10**