

Site Plan Application – Planning Board of Adjustment

Name: HARRY HOFF Case # _____

Address: 342 FRONT ST UNION Beach NJ 07735 Date: _____

Phone # 732 Cell Phone # 732-739-7195

Application: (2 original copies notarized, pg. 3 – 21 total sets) _____ # submitted
Each Application (21 sets) must include a Copy of the Zoning Denial Letter (if you received a denial)

Proof of Service (2 copies notarized, pg. 5 – include w/above) DMV # submitted

Copy of Notice to Adjoining Property Owners, pg. 4 – include w/above 1 # submitted

Certified list of Property Owners (include with originals) _____ # submitted
Available from the Tax Assessor, includes total properties & Utilities

A Certification of taxes being paid (include w/total sets) _____ # submitted
This certification is available from the Tax Collector

A Copy of a Survey (less than 3 years old – 21 total sets) 21 # submitted

Architectural Plans (include w/packet – 21 total sets) 21 # submitted

Plot Plans (include w/packet – 21 total sets) Note: plot plans to include all setbacks, sidelines, both existing and proposed as well as all accessories (Sheds, Pools, Decks, Fencing, Driveways, Garages, etc.). 21 # submitted

Affidavit of Publication (Star Ledger 732-902-4318 / Asbury Park Press 732-643-3666) _____ # submitted
Must be submitted ten (10) days prior to Planning Board meeting

Certification Mail Return Receipts (PS Form 3800, June 2002) _____ # submitted
Must be submitted ten (10) days prior to Planning Board meeting

Application Fees – as per Fee Schedule Worksheet

1 Check Non-refundable Fees – Check # _____ Amt. \$ _____

1 Check Escrow (Unused fees are refundable) Check # _____ Amt. \$ _____

Is Application complete? Yes: _____ No: _____ Date: _____

Applicants Signature: _____

Planning Board Secretary or Designee: Complete _____

Date: _____ Incomplete _____

Total packets must be submitted to Borough Hall Ten (10) days prior to meeting
(Checklist Page 1 of 6 – Cover sheet is separate)

Case # _____

Date Filed: _____

Action Taken: _____

FEE (Paid): _____

Date (of Action): _____

The section above is for Planning Board use

Keansburg Planning Board of Adjustment – Statement & Variance Sheets – pgs. 2 & 3

1. I (we), Harry Holt, The Applicant (s) Herein, whose Address is 342 Front St Union Beach NJ 07725 am the Owner (s) ☒ int: _____

Prospective Purchaser(s) ☐ : _____ of property located on 10 Murray Ln.

And designated as Block 73 and Lot 4 on the Official Keansburg Tax Map.

2. Said property is in a R5 Zone, and is 2940 sq ft 49x60 (Size) and has the following Structures on the property: Previously Demolished 2-Family Home
Currently Vacant

3. Request is Hereby made for permission To: (Indicate type (s) of structure (s) and use thereof:

Construction of a single family home in a more conforming footprint than previous structure

4. The proposed structure or use is contrary to the Zoning/Development regulations of Keansburg,

5. The following is contrary to the Development Ordinance: list & detail all Variances to be sought.

See attach

Details and Variances can be obtained from the Zoning Denial Letter which must be included in packet

6. Is the entire tract of land, Block 73 Lot 4 intended to be used? ☐ Yes ☐ No

7. Has the property been separated from an adjoining parcel? ☒ Yes ☐ No, if so when Foreclosure 2012?

If Yes, has The Planning Board approved the subdivision NO. Date: _____

Reconstruction of a single-family Sandy damaged home that is more conforming than prior structure on an undersized lot. The applicant is also requesting the following variances:

- To permit a lot width of 49 feet where 50 feet is required (pre existing condition)
- To permit a lot depth of 60 feet where 100 feet is required (pre existing condition)
- To permit minimum square feet of 2940 where 5000 square feet is required (pre existing condition)
- To permit a rear yard setback of 10 feet where 25 feet is required
- To permit a front setback of 20 feet where 25 feet is required
- To permit max lot coverage for house of 26.33% where 25% is allowed
- And any other variances or waivers that may be required

On premises located at 10 Murray Lane, Keansburg, NJ Block 73 Lot 4.

Statement & Variance Sheet – Continued:

8. Has there been any previous appeal involving this parcel/premises ? ☐ Yes ☒ No int: _____

If so, state date of filing: _____. List all the details and results of the Appeal.

9. By filing this application does the applicant (s) waive any and all rights gained previously yes

10. Are there any open construction permits, permit fees, code violations, or court case that may with due cause prevent the Planning Board from hearing this application ? ☐ Yes ☒ No

If Yes, List details: _____

11. Attached hereto and made part thereof are all of the required 21 sets (packets) as detailed within the Checklist page (pg.1), including 21 sets of drawings, DRAWN TO SCALE, and containing all of the necessary measurements (setbacks, elevations, lot & structure square footage), and all structures and accessories (decks, garages, sheds, pools, fences, driveways, sidewalks, walks, patios, etc.) that are installed or within the confines of said property and are part and parcel of this application.

12. Check or Money Order for the Escrow (refundable balance) amount listed \$ _____

I (we), The undersigned, being duly sworn according to law upon my oath do depose and state that all of the statements contained herein are based on my own knowledge and are true and correct.

Signed: _____ Date: _____

* If the applicant is NOT the owner of the property herein, the owner must sign the following consent

* The foregoing application is hereby consented this _____ Day of _____ 20____

Owner's Signature: _____ Date: _____

Sworn to and subscribed before me on this 20th Day of

(Month) October 2021

Notary Signature: [Signature]

Seal

PAUL N MIRABELLI
ATTORNEY AT LAW
STATE OF NEW JERSEY

Date: _____

Two (2) application packets Must have raised Seal
(Page 3 of 6)

NOTICE TO PROPERTY OWNERS

In the matter of Appeal: Harry Hoff

To:

You are hereby notified that Harry Hoff has appealed from the action of the Zoning Officer of the Borough of Keansburg for a variance interpretation, site plan, use variance, from Sections of the Developmental Regulations of the Borough of Keansburg, Chapter 22 of the Revised General Ordinances of the Borough of Keansburg so as to permit :

Reconstruction of a single-family Sandy damaged home that is more conforming than prior structure on an undersized lot. The applicant is also requesting the following variances:

To permit a lot width of 49 feet where 50 feet is required (pre existing condition)
To permit a lot depth of 60 feet where 100 feet is required (pre existing condition)
To permit minimum square feet of 2940 where 5000 square feet is required
To permit a rear yard setback of 10 feet where 25 feet is required
To permit a front setback of 20 feet where 25 feet is required
To permit max lot coverage for house of 26.33% where 25% is allowed
And any other variances or waivers that may be required

On premises located at 10 Murray Lane, Keansburg, NJ Block 73 Lot 4.

The Keansburg Planning Board of Adjustment is scheduled the hearing to be held on the day of
2021 at 7 PM in the Council Chambers of the Municipal Building, 29 Church Street, Keansburg,
NJ as the time and place for said appeal.

You or your agent or attorney are privileged to attend said hearing and may present any and all objections which you may have to the granting of the relief sought in the petition. The application and related documents are on file in the Office of the Municipal Clerk and are available for review and inspection.

/s/Harry Hoff
Harry Hoff



Borough of Keansburg

Planning/Zoning Office

29 Church Street • Keansburg, New Jersey 07734
Phone: 732/787-0215 • Fax: 732/787-3699

July 10, 2019

HARRY R HOFF
822 9TH STREET
UNION BEACH, NJ 07735

Re: Construction of NSF, 3 Bedrooms Structure - Denied
10 Murray Ln, Keansburg
Block/Lot: 73/4

Dear Applicant:

Regarding the above mentioned property, please be advised that your Development Permit to reconstruct a new three (3) bedroom single family structures as proposed is denied for the following:

1. Additions (any new construction) must meet the yard setbacks as noted in the Development Regulations of the Borough of Keansburg. The new construction would have to be setback from the street property line as set forth in 22-5.5e for a distance of twenty-five (25') feet.
2. The structures that were demolished contained approximately 1,072 square feet (combined), your proposal is for a replacement structure of approximately 2,340 square feet.

I have also included a second page of information that you may need to include in your notices should you wish to appear before the Board.

If you wish to pursue this application you are directed to the Keansburg Planning Board of Adjustment for a formal hearing to grant the necessary variances which would be needed to permit the construction and for final approvals. Please contact the Planning Board Secretary with any question you may have regarding the Planning Board application.

Respectfully,

Kathy Burgess
Assistant Zoning Officer, Borough of Keansburg

Cc: Planning Board of Adjustment
Construction Official
File

1. 22-7.3e – Restoration of a Nonconforming Building or Structure – any Nonconforming structure that has been more than partially destroyed must be rebuilt in conformity with the current zoning regulations.
2. 22-5.2c – No existing building or structure shall be moved, altered, added to or enlarged, nor shall any land or building or portion of a building or structure to be used, designed, or arranged to be used for any purpose unless in conformity with all of the regulations herein specified for the district in which it is located.
3. 22-7.3c – Nonconforming Uses, Building or Structure. No nonconforming use may be expanded.
4. 22-5.5e – A use variance will be required as the property is in an R-5 Single Family Zone and your proposal does not meet the lot size for a new single family home;
5. 22-5.5e – Setback variances required:
 - a. Front yard setback of approximately 10 feet where 25 feet is required;
 - b. Rear yard setback of approximately 10 feet where 25 feet is required;
 - c. Minimum Lot Area of 5,000 SF required - 2,940 SF is being proposed;
 - d. Minimum Lot Frontage of 50 feet is required – 49 feet is being proposed;
 - e. Minimum Side Yard set back (Total) of 10 feet is proposed where 15 feet is required;
 - f. Minimum Lot Coverage (Principle building) of 25% is exceeded;
 - g. Minimum Lot Coverage (All) of 50% is exceeded;
6. Any other variances the Board may require in the course of hearing this application.

Received

JUN 27 2019

Vacant Land
Borough of Keansburg

ZONING DEVELOPMENT PERMIT APPLICATION

Instruction Office

Date: 6-27-19

Zoning Permit No.

19-2757

The undersigned hereby applies for Zoning Approval to be issued on the basis of the representations herein.

Location of Property 10 Hickey Zone R30 Blk 73 Lot 4

Name of Owner/Prospective Buyer/Agent (Please Indicate ☒ Owner ☐ Buyer ☐ Agent)

Harry Hoff Phone: 732-739-7197

Address 342 Front St.

Name of Contractor Harry Hoff Phone: 132-739-1197

Address 342 Front St. Union Branch NJ 07135

The above named applicant hereby applies for a Zoning Permit to: Rebuild

1000 sq. ft. front porch with water front porch

Size of Property: Lot Area 2940 Sq. Ft. Frontage 44 Ft. Depth 60 ^{ft}

Principal bldg: ☒ Single Family ☐ Other _____ Building Size 790 ^{Each Floor} = Sq. Ft. 1560

Lot Coverage (inc. All Bldgs.-driveway-Patio-Deck-Pool)=Sq. Ft. 45.32 Building Height 33

Accessory Bldg: Size: L _____ W _____ H _____ Set-Back _____ Set Back _____
Rear yard 10 Side Yard 15 L 8 R

Total # of parking spaces existing 0 Proposed 2 (Each space-9'W by 18' L)

Is new construction proposed? ☒ Yes ☐ No If yes provide details: Rebuild

1000 sq. ft. front porch with water front porch

Are modifications to the site or existing bldgs. proposed? ☐ Yes ☒ No If yes, attach sketch

Property line setbacks: Front _____ Ft. Right side _____ Ft. Left Side _____ Ft. Rear _____ Ft.

Submitted herewith is a dimensional plan (Certified Survey) of the lot showing proposed work & structures. A floor plan (existing & proposed) shall be attached for projects involving additions. Details must include existing and proposed work-setback lines-existing and proposed floor plans-dimensions of all rooms and bldgs. Fence-height and type. Signs-ss of bldg facade. Failure to submit all the above will cause project denial.

125,000

Estimated Cost of Work

7/10/19

Zoning Permit Fee \$25.00

Approved ☐ Denied ☒

Notes:

Signature of Applicant

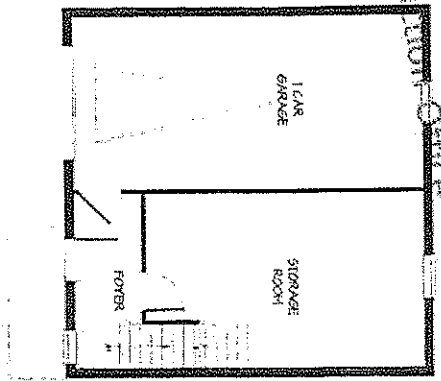
Kathy Hoff

Signature of Zoning Officer

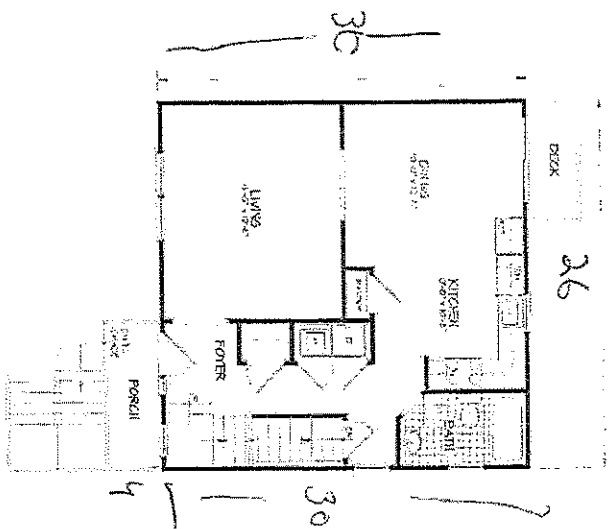
Received

JUL 09 2019

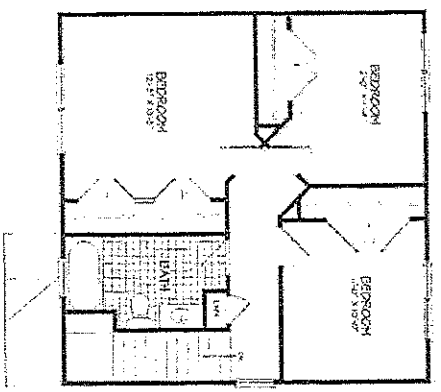
Construction Office



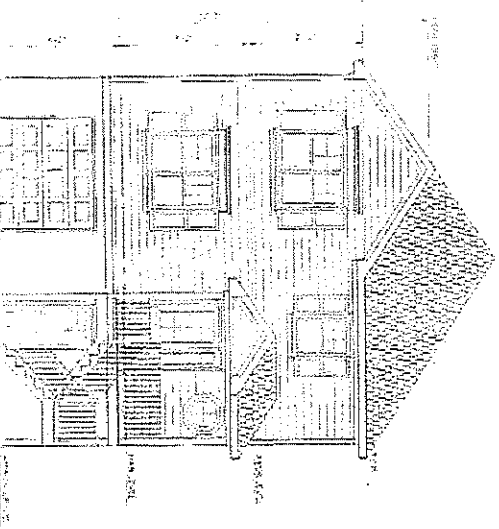
PROPOSED GROUND FLOOR
1/8" = 1'-0"



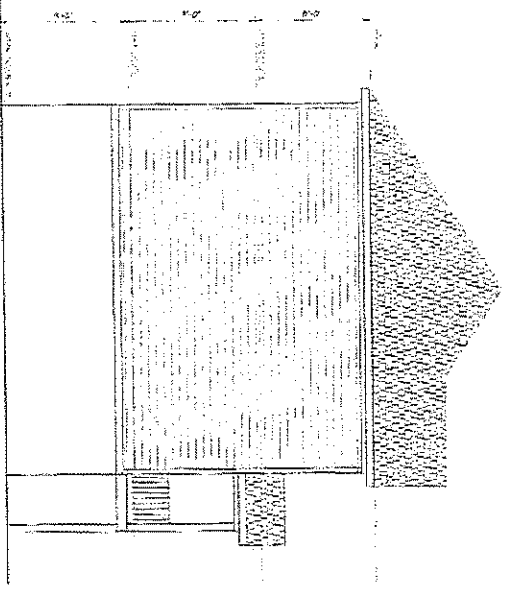
PROPOSED MAIN FLOOR
1/8" = 1'-0"



PROPOSED UPPER FLOOR
1/8" = 1'-0"



PROPOSED FRONT ELEVATION

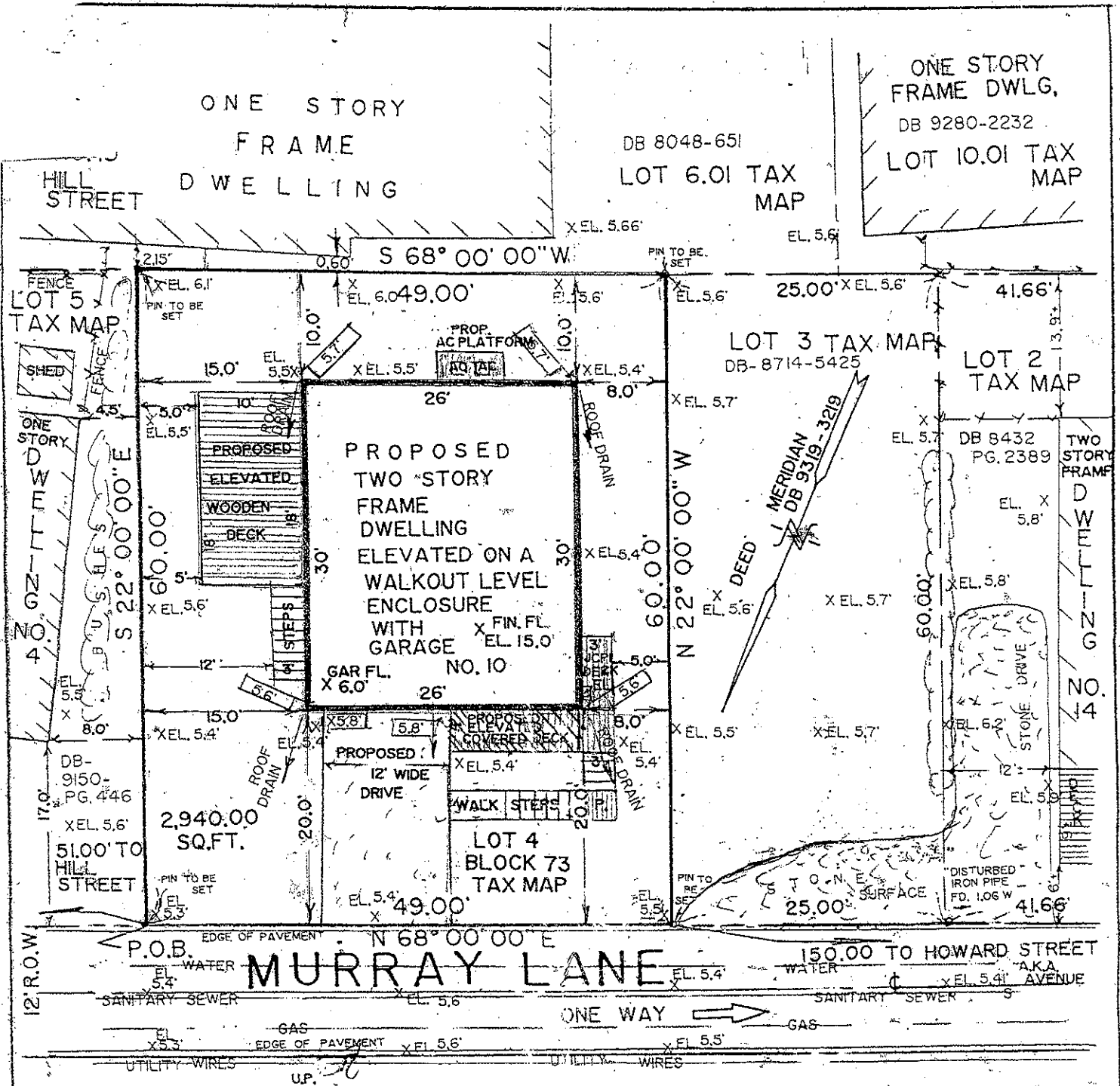


PROPOSED LEFT ELEVATION

10 MURRAY

PROPOSED FLOOR PLANS AND ELEVATIONS	
DATE	10-10-2018
PROJECT	1001 PROJECT
CLIENT	1001 CLIENT
DESIGNER	1001 DESIGNER
SCALE	1/8" = 1'-0"
NOTES	1001 NOTES





NOTE: In Building Zone R-5

Elevations are on NAVD 88 Datum
in FEMA Zone AE EL. 11 FT.

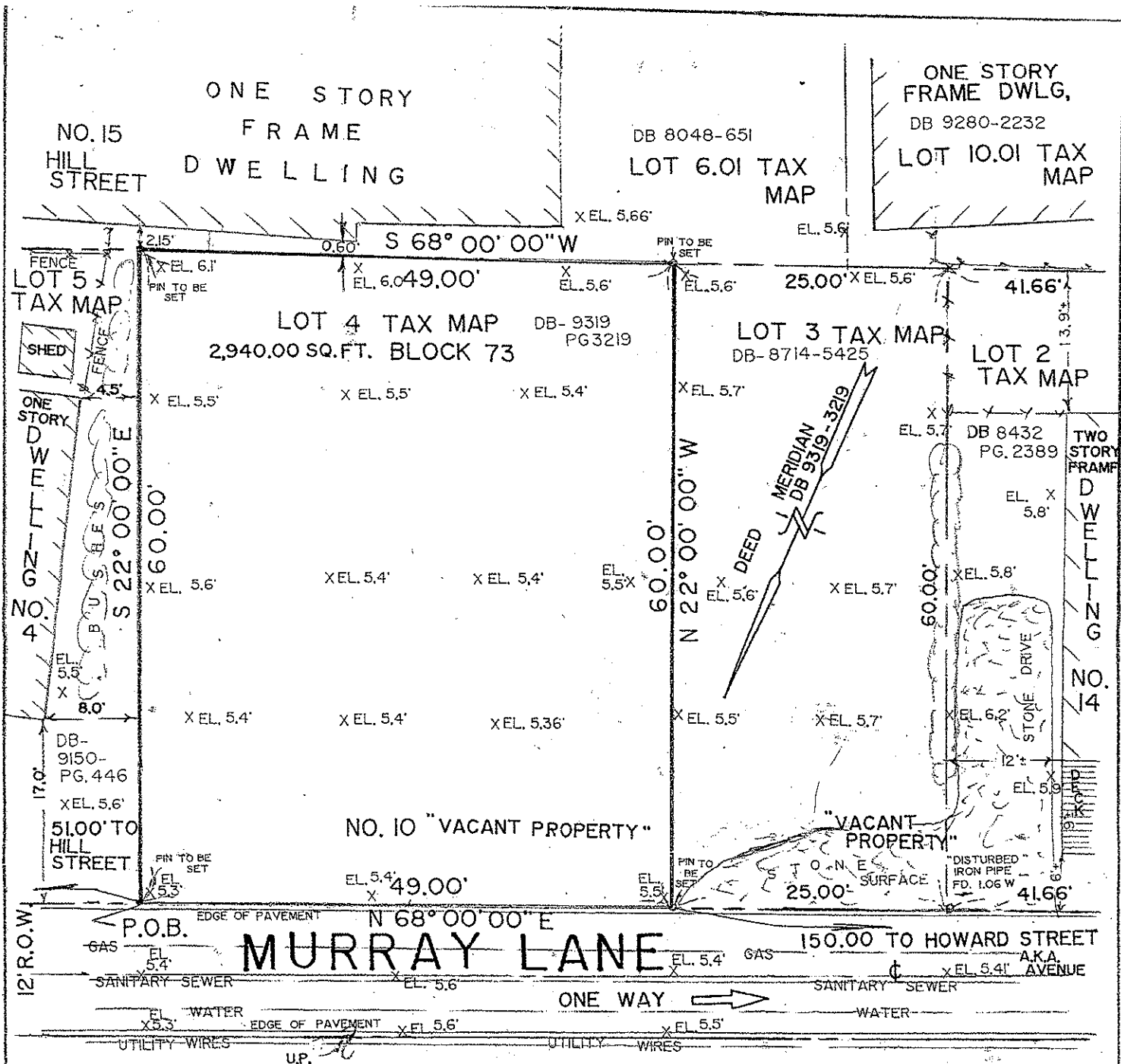
Subject Property is 2,940 sq. ft.

Proposed Dwelling is 780.00 sq. ft. = 26.53% cov.

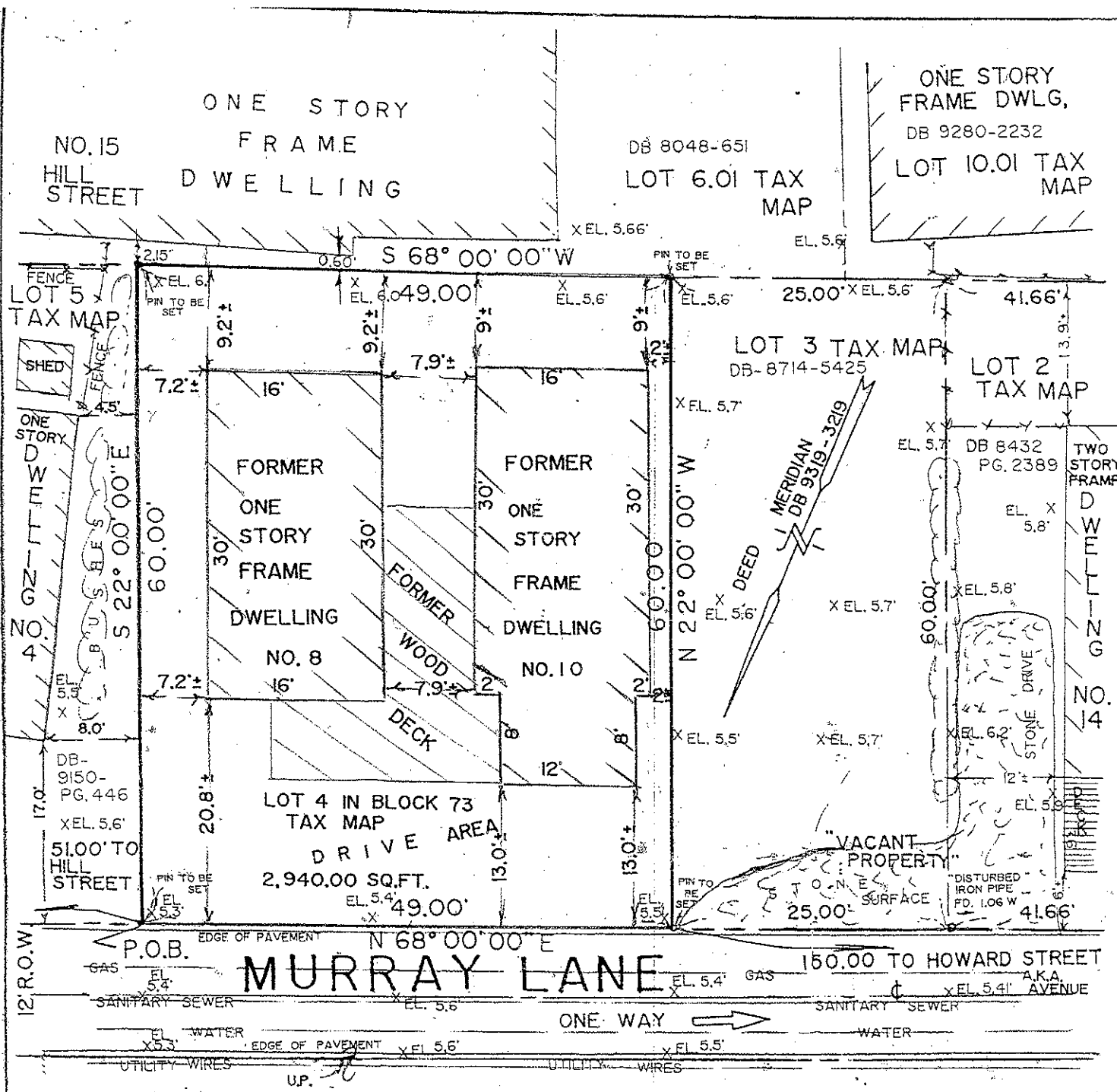
Proposed Drive is 240 sq. ft. = 8.16% cov.

Proposed Left Side Deck is 180 sq. ft. = 6.12% cov.

PROPOSED DWELLING SHOWN ON VAC. LOT.



NOTE: In Building Zone R-5
Elevations are on NAVD 88 Datum
in FEMA Zone AE EL. 11 FT.



NOTE: In Building Zone R-5
Elevations are on NAVD 88 Datum
in FEMA Zone AE EL. 11 FT.

NOTE: PRIOR LAND SURVEY BY
GEORGE T. LUCAS II, P.L.S.
DATED JULY 20, 1999

REVISED TO SHOW THE FORMER DWELLINGS
AS SHOWN ON A PRIOR SURVEY JULY 20, 1999