

NEW MULTI FAMILY UNITS RARITAN AVE. LLC

LOCATED AT:
126 RARITAN AVE.
KEANSBURG, N.J.
BLOCK: 47 LOT: 23

GENERAL NOTES & SPECIFICATIONS

- THE CONTRACT DRAWINGS AND SPECIFICATIONS HAVE BEEN CAREFULLY CHECKED BY THE ARCHITECT TO PROVIDE CONTRACT DOCUMENTS WHICH CLEARLY DEFINE THE RESULTS THE CONTRACTOR IS EXPECTED TO ACHIEVE. PRIOR TO COMMENCEMENT OF CONTRACTED WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS, OMISSIONS, OR LACK OF DEFINITION BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR BETWEEN THE CONTRACT DOCUMENT AND EXISTING SITE CONDITIONS IN ORDER TO RESOLVE ANY PROBLEM. THE COMMENCEMENT OF CONTRACTED WORK BY THE CONTRACTOR WILL BE DEEMED AS ACCEPTANCE OF THE CONTRACT DOCUMENTS AS BEING TRUE AND CORRECT AND NO REQUESTS FOR ADDITIONAL PAYMENT DUE TO CONFLICTS, OMISSIONS, OR LACK OF DEFINITION WILL BE ACCEPTED. ANY REVISED DRAWING OR OTHER DOCUMENT ISSUED TO THE CONTRACTOR SHALL NOT BE EXECUTED UNLESS ACCOMPANIED BY A LETTER OF AUTHORIZATION TO PROCEED. IN CASES WHERE COST ESTIMATES ARE REQUESTED FOR REVISIONS, THEY WILL BE PREPARED AND SUBMITTED PROMPTLY IN ORDER THAT THEY DO NOT UNDESIRABLY AFFECT THE PROGRESS OF WORK.
- THE GENERAL CONTRACTOR HEREBY INDEMNIFIES, AGREES TO DEFEND AND HOLD HARMLESS THE OWNER FROM AND AGAINST ANY / ALL SUITS, CLAIMS, ACTIONS, LOSS, COST OR EXPENSE (INCLUDING CLAIMS FOR WORKMENS COMPENSATION BASED ON PERSONAL INJURY OR PROPERTY DAMAGE CAUSED IN THE PERFORMANCE OF THIS WORK BY THE GENERAL CONTRACTOR, HIS EMPLOYEES, AGENTS, SERVANTS, OR SUBCONTRACTORS ENGAGED BY HIM).
- INSURANCE BY GENERAL CONTRACTOR SHALL BE AS FOLLOWS: COMPREHENSIVE GENERAL LIABILITY (BI AND PD COMBINED) LIMIT \$1,000,000.00 PER OCCURRENCE.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH THE LOCAL BUILDING CODE AND REGULATIONS, LATEST EDITIONS, ALONG WITH ALL APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES CODES AND REQUIREMENTS AND LANDLORD REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION DEPARTMENT FORMS, DOCUMENTS, FEES AND THE SUBSEQUENT FILING THERE OF, INCLUDING OBTAINING ALL APPROVALS REQUIRED PERMITS, EQUIPMENT USE PERMITS, CONTROLLED INSPECTIONS & FINAL SIGN OFFS.
- THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL JOB CONDITIONS, DIMENSIONS, AND DETAILS PRIOR TO SUBMITTING ANY BIDS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK PRIOR TO THE SUBMISSION OF BIDS.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS STRINGS GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE PLANS.
- ALL DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE OR FROM FACE OF CONVECTOR TO FINISH SURFACE.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH THE LOCAL RULES AS TO THE HOURS OF OPERATION AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE OWNER. THE DELIVERY OF MATERIALS EQUIPMENT AND DEBRIS MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH THE LOCAL RULES AS TO THE HOURS OF OPERATION AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE OWNER. THE DELIVERY OF MATERIALS EQUIPMENT AND DEBRIS MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE.
- THE GENERAL CONTRACTOR SHALL MAKE AVAILABLE A MINIMUM OF THREE (3) FIRE EXTINGUISHERS PER FLOOR (OR MORE), IF REQUIRED BY THE LOCAL ORDINANCE. FIRE EXTINGUISHERS SHALL BE KEPT AND MAINTAINED ON THE PREMISES BY OWNER'S CONTRACTOR FOR THE DURATION OF THE ALTERATION.
- ALL MATERIALS AS WELL AS METHODS AND PROCESSES USED IN THE PERFORMANCE OF THE WORK SHALL CONFORM TO THE STANDARD OF THE LOCAL CODE AND THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH SUCH REQUIREMENTS.
- CONTRACTOR TO CONTROL CLEANING TO PREVENT DIRT OF DUST FROM LEAVING THE JOB SITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.
- THE GENERAL CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS, COMPLETE WITH MANUFACTURER'S EQUIPMENT CUTS, FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK. SUBMITTAL SHALL BE IN THE FORM OF: (A) REPRODUCIBLE SEPIA TRANSPARENCY (POSITIVE SIDE UP); AND (B) 3 BLACK AND WHITE PRINTS OF EACH DRAWING. THE CONTRACTOR WILL NOT COMMENCE FABRICATION BEFORE RECEIVING THE APPROVAL OF THE ARCHITECT.
- APPROVAL OF SHOP DRAWINGS SHALL INDICATE ONLY THAT SUCH DRAWINGS GENERALLY EXPRESS THE INTENT OF THE CONTRACT DOCUMENTS AND SHALL NEITHER BE CONSTRUED AS A COMPLETE CHECK NOR RELIEVE THE CONTRACTOR OF RESPONSIBILITY IN NOTE ABOVE.
- THE GENERAL CONTRACTOR SHALL MAKE GOOD, AT HIS OWN EXPENSE, ANY DAMAGE TO EXISTING AREAS NOT DESIGNATED FOR REBUSHMENT.
- GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS, WHETHER HIS OWN, OR THOSE ON SEPARATE CONTRACT LET BY THE OWNER. PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A WORK SCHEDULE TO ARCHITECT SHOWING ESTIMATED COMMENCEMENT AND COMPLETION DATES OF EACH TRADE. THE CONTRACTOR SHALL BE RESPONSIBLE TO INDICATE ANY CONFLICTS OR OMISSIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WORK SHOWN ON THESE DRAWINGS SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- THE AIA GENERAL CONDITIONS, LATEST EDITION, (DOCUMENT A201) SHALL BE BINDING ON THIS CONTRACT.
- THE WORK REQUIRED UNDER THIS CONTRACT SHALL BE PERFORMED ON STRAIGHT TIME UNLESS OTHERWISE REQUIRED BY OTHER CLAUSES OF THIS CONTRACT OR AS DIRECTED BY THE CLIENT, ENGINEER, OR ARCHITECT. SHUTDOWN COORDINATION AS REQUIRED BY THE BUILDING LANDLORD.
- NO EXTRAS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE CONTRACTOR AND APPROVED BY THE TENANT AND THE ARCHITECT.
- A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT.
- ALL REQUESTIONS FOR PAYMENTS FROM THE CONTRACTOR TO THE TENANT SHALL BE SUBMITTED TO THE ARCHITECT ON AIA FORM G722, LATEST EDITION, FOR PRIOR APPROVAL.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR, UNLESS OTHERWISE NOTED. ALL CONTRACTORS SHALL SUBMIT IN WRITING THIS GUARANTEE TO THE CLIENT. THE GUARANTEE PERIOD IS TO BEGIN WHEN THE CLIENT OCCUPIES THE PREMISES.
- THE CLIENT'S ARCHITECT OR HIS REPRESENTATIVES SHALL HAVE ACCESS TO THE PREMISES AT ALL TIMES AND TO THE FACTORY OR SHOP OF ANY OF THE SUBCONTRACTORS. ANY SUPERIOR MATERIAL OR WORKMANSHIP SHALL BE RECONSTRUCTED AS APPROVED BY THE ARCHITECT & THE TENANT AT THE CONTRACTOR'S SOLE EXPENSE.
- WHATEVER WORK IS DONE WHERE NO DEFINITE DETAILS OR INSTRUCTIONS ARE GIVEN, THE CONTRACTOR OR SUBCONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE HIGHEST STANDARDS OF WORKMANSHIP AND MATERIALS AS DEFINED BY THE GOVERNING TRADE ORGANIZATION.
- UPON COMPLETION OF WORK, THE CONTRACTOR WILL PROVIDE REPRODUCIBLE "AS-BUILT" TO SHOW ALL MODIFICATIONS OF THE CONTRACT DOCUMENTS, AS WELL AS ALL LIGHTING AND POWER CIRCUITRY (INCLUDING BREAKER NUMBERS) AS ACTUALLY INSTALLED.
- ALL MATERIALS SHALL, WHEN APPLICABLE AND REQUIRED, COMPLY WITH THE DIRECTIVES OF THE LOCAL BOARD OF STANDARDS AND APPEALS (B.S.A.), AND THE MANUFACTURER SHALL BE ABLE TO PRODUCE A LOCAL B.S.A. NUMBER ON DEMAND.
- ALL MATERIALS SHALL BE NEW AND SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL PACKAGING.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.
- G.C. TO OBTAIN ALL PERMITS, SIGN-OFFS AND EQUIPMENT USE PERMITS.
- ALL WORK SHALL BE ON STRAIGHT TIME, WORK WHICH IS REQUIRED BY THE BUILDING OWNER/LANDLORD TO BE PERFORMED AFTER HOURS SHALL BE COORDINATED WITH TENANTS. ELECTRICAL TIE INS AND DRILLING TO BE COORDINATED WITH OWNER AND DONE AFTER HOURS.
- PREMISES TO BE FINE CLEANED PRIOR TO TURNING OVER TO OWNER.

BUILDING DATA

ADDRESS: 126 RARITAN AVE.
KEANSBURG, N.J.
BLOCK: 47
LOT: 23
ZONE:
DESCRIPTION OF WORK: NEW MULTI FAMILY UNITS
USE GROUP: RESIDENTIAL - (REMAIN)
CONSTRUCTION CLASS: VB - (REMAIN)
FIRE PROTECTION: NON-SPRINKLERED
APPLICABLE CODES: NEW JERSEY UNIFORM CONSTRUCTION CODE (NJUCC, NJAC 5:23-2021 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION ICC/ANSI A117.1-2003 (N.J.A.C. 5:23-7.1)
2021 NATIONAL STANDARD PLUMBING CODE (N.J.A.C. 5:23-3.15)
2020 NATIONAL STANDARD ELECTRIC CODE (N.J.A.C. 5:23-3.18)
2021 INTERNATIONAL ENERGY CONSERVATION CODE - (N.J.A.C. 5:23-3.18)
2021 INTERNATIONAL MECHANICAL CODE (IMC)(N.J.A.C. 5:23-3.20)
2021 INTERNATIONAL FUEL GAS CODE (IFGC)(N.J.A.C. 5:23-3.22)

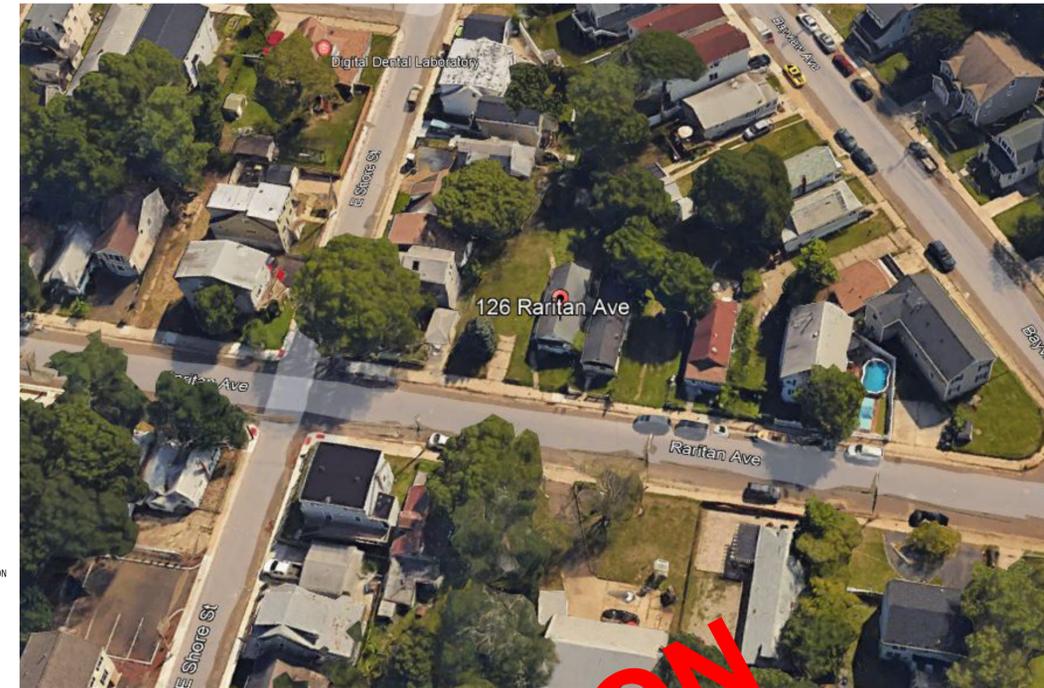
PROJECT DATA

SQUARE FEET: 5,519 S.F. (NEW)
VOLUME: 41,503 C.F.
AREA OF LAND DISTURBANCE: 2,638 1/4 S.F.
NUMBER OF STORIES: 3 1/2-STORY
BUILDING HEIGHT: 35' (NEW)
LOT AREA: 7,000 S.F. (EXIST.)
SETBACKS
FRONT REQUIRED (26.1') 26.1' (NEW)
LEFT SIDE REQUIRED (8.3') 8.3' (NEW)
RIGHT SIDE REQUIRED (14.8') 14.8' (NEW)
REAR REQUIRED (53.1') 53.1' (NEW)
BUILDING COVERAGE: 23.28% (1,629' S.F.) (NON-CONFORMING)
LOT COVERAGE: 23.28% (1,629' S.F.) (NON-CONFORMING)

SHEET INDEX

| SHEET INDEX | |
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| Sheet Number | Sheet Name |
| A101 | Cover Sheet |
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| A106 | Framing Plans |
| A107 | Framing Plans |
| A108 | Elevations |
| A109 | Electrical Plans |
| A110 | Fire Protection Detail |
| A111 | Wall Section |

AERIAL PHOTO



ANTHONY MALTESE P.E. P.L.S. P.P., C.M.E.
PROFESSIONAL ENGINEER
NJ LICENSE No. 42579

ANTHONY J. CHURCH
REGISTERED ARCHITECT
NJ LICENSE No. 21A100514600

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| REVISION TABLE | | DESCRIPTION |
|----------------|-----------|-------------------|
| NUMBER | DATE | REVISION BY |
| 1 | 4-08-2021 | DAK CLIENT UPDATE |
| 2 | 4-12-2021 | DAK CLIENT UPDATE |

NOTES:

PROJECT DESCRIPTION:

NEW MULTI FAMILY UNITS
RARITAN AVE. LLC
LOCATED AT:
126 RARITAN AVE.
KEANSBURG, N.J.

DATE: 06-12-2023

DRAWN BY: DAK

SCALE: AS NOTED

JOB #: 743

SHEET: 1 OF 11

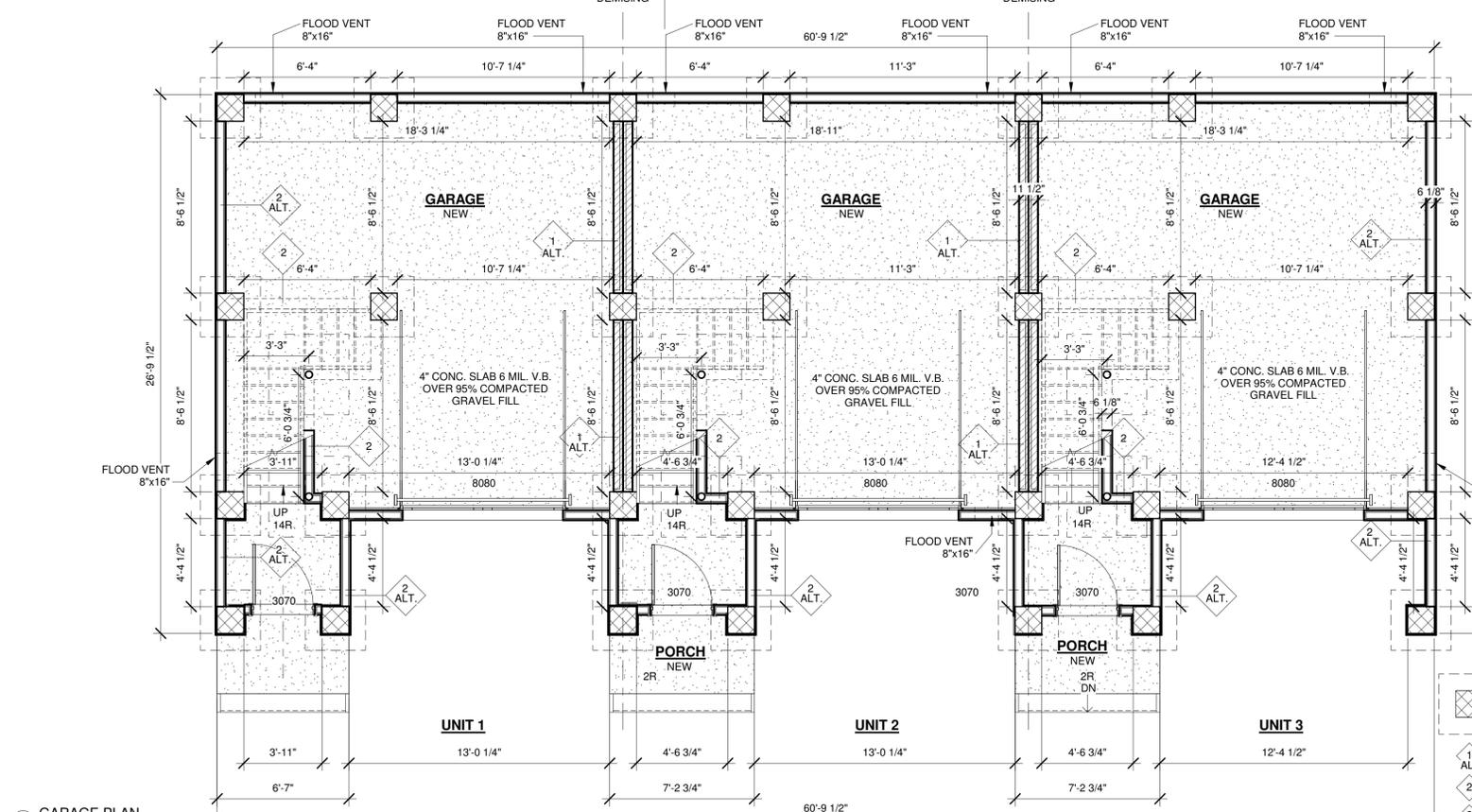
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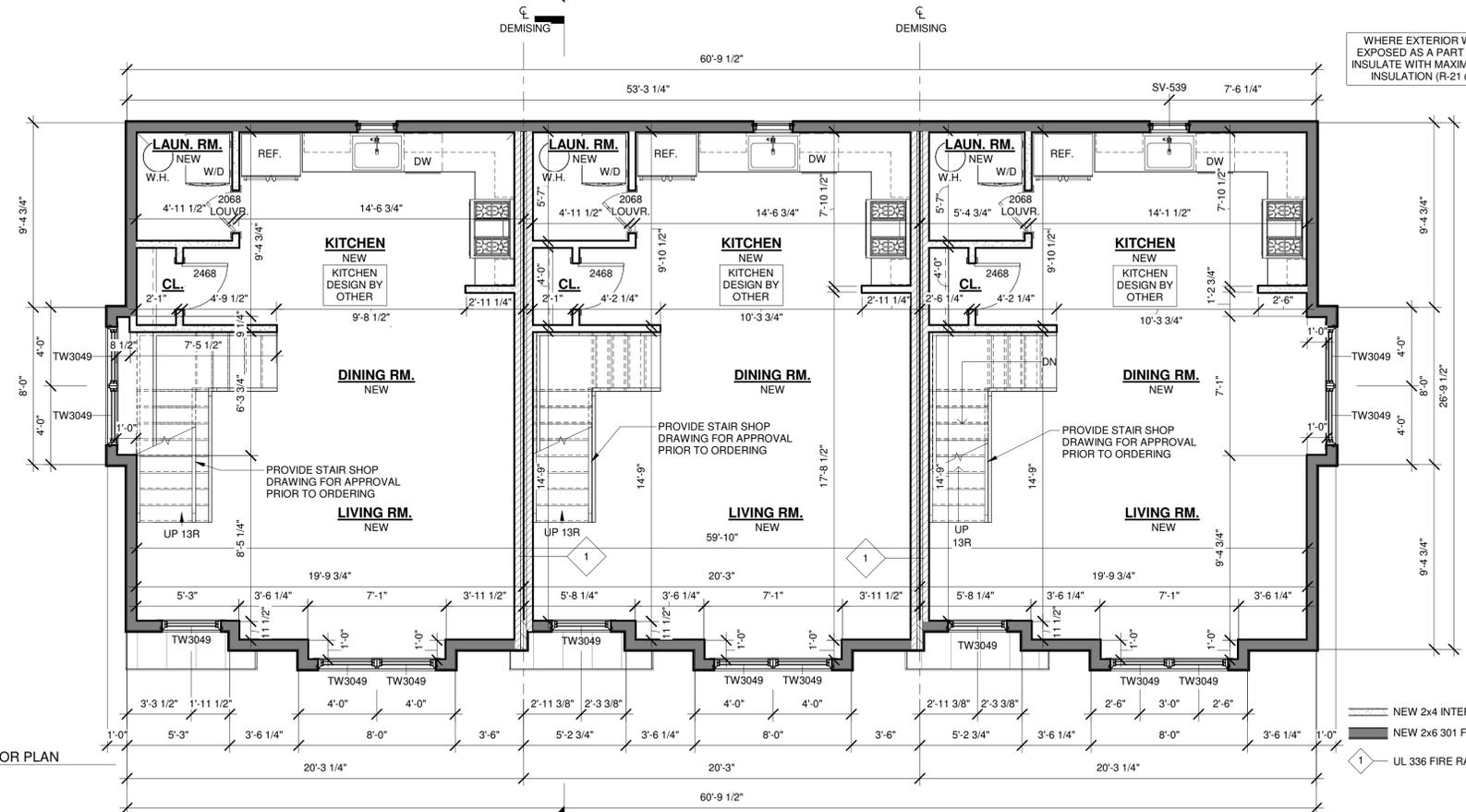
OFFICE: 732-370-9555 FAX: 732-933-9384

EMAIL: INFO@ARCHSTUDIOS.US
WEBSITE: ARCHSTUDIOS.US

- RESIDENTIAL DESIGN
- COMMERCIAL DESIGN
- INDUSTRIAL DESIGN
- RELIGIOUS / INSTITUTIONAL DESIGN
- HEALTH CARE DESIGN
- STRUCTURAL DESIGN
- INTERIOR DESIGN



1 GARAGE PLAN
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"

NOT FOR CONSTRUCTION

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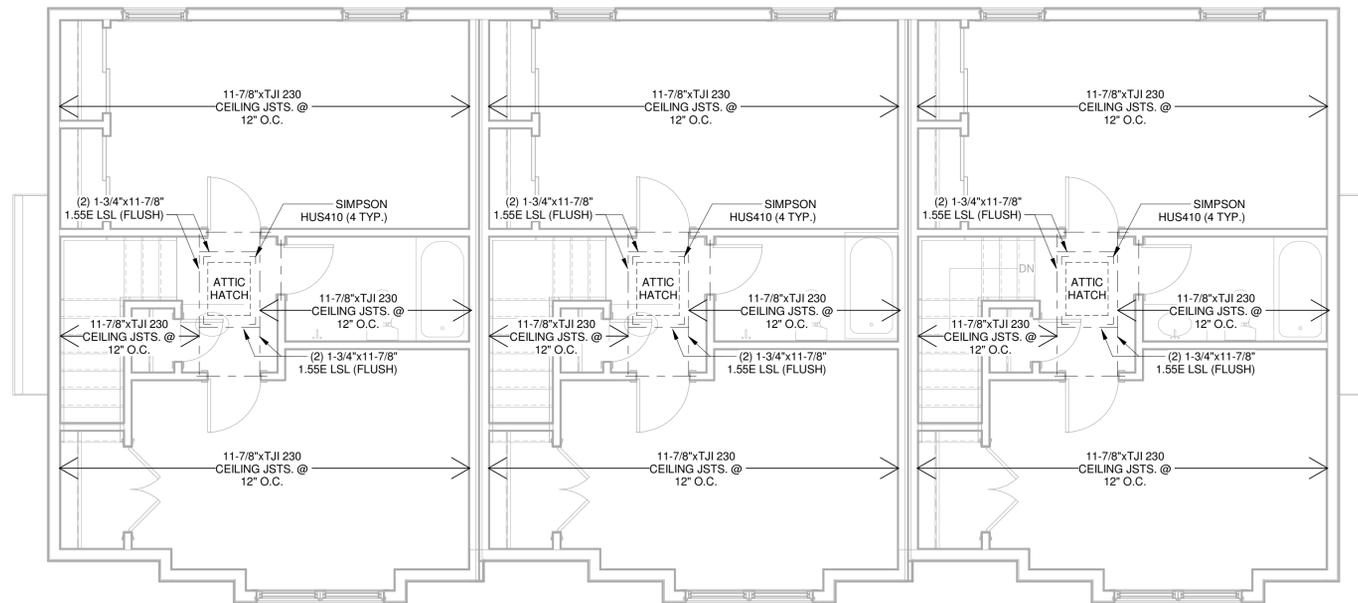


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FLOOD VENT CALCULATIONS:
BASEMENT SQUARE FOOTAGE: 428.6 SF
428.6/200 SF = 2.143 VENTS REQUIRED
THESE CALCULATIONS FOR USE WITH A SMART VENT APPLICATION ONLY. IF ANY OTHER VENTS ARE USED THE REQ'D NUMBER OF VENTS MUST BE MODIFIED BY ARCHITECT
CONTRACTOR TO SUPPLY 8"x16" STAINLESS STL. SMART VENT, CERTIFIED FOR 200 SF OF ENCL. AREA EACH, MODEL #1540-510
THE DESIGN OPENINGS WILL PROVIDE FOR EQUALIZATION FOR HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR AUTOMATIC ENTRY & EXIT OF FLOODWATERS AS SPECIFIED IN SECTION 2.6.2.2 OF THE ASCE 24



1 Clg. Framing Plan
1/4" = 1'-0"

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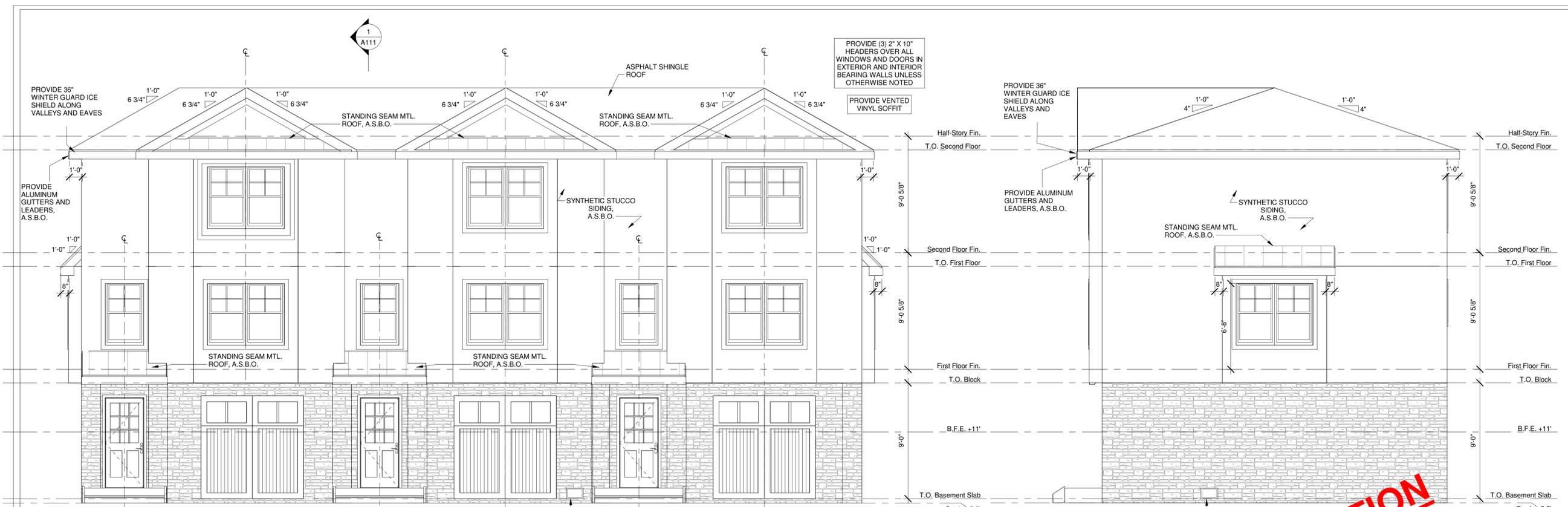
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A107

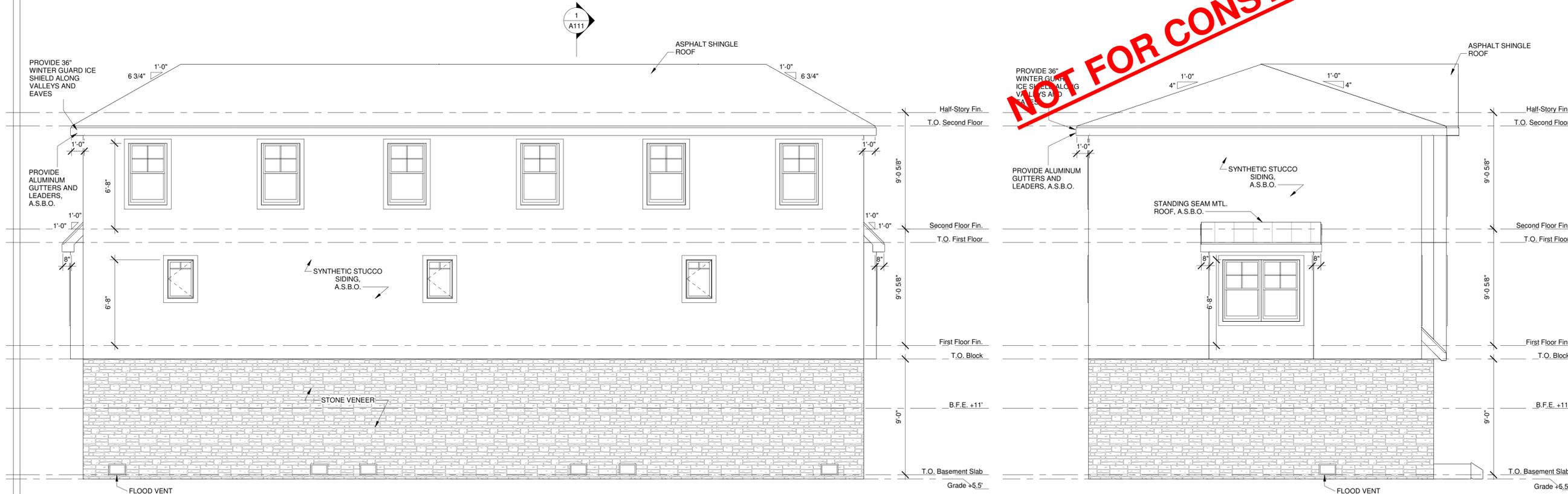


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1 FRONT ELEVATION
1/4" = 1'-0"

2 RIGHT ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"

4 LEFT ELEVATION
1/4" = 1'-0"

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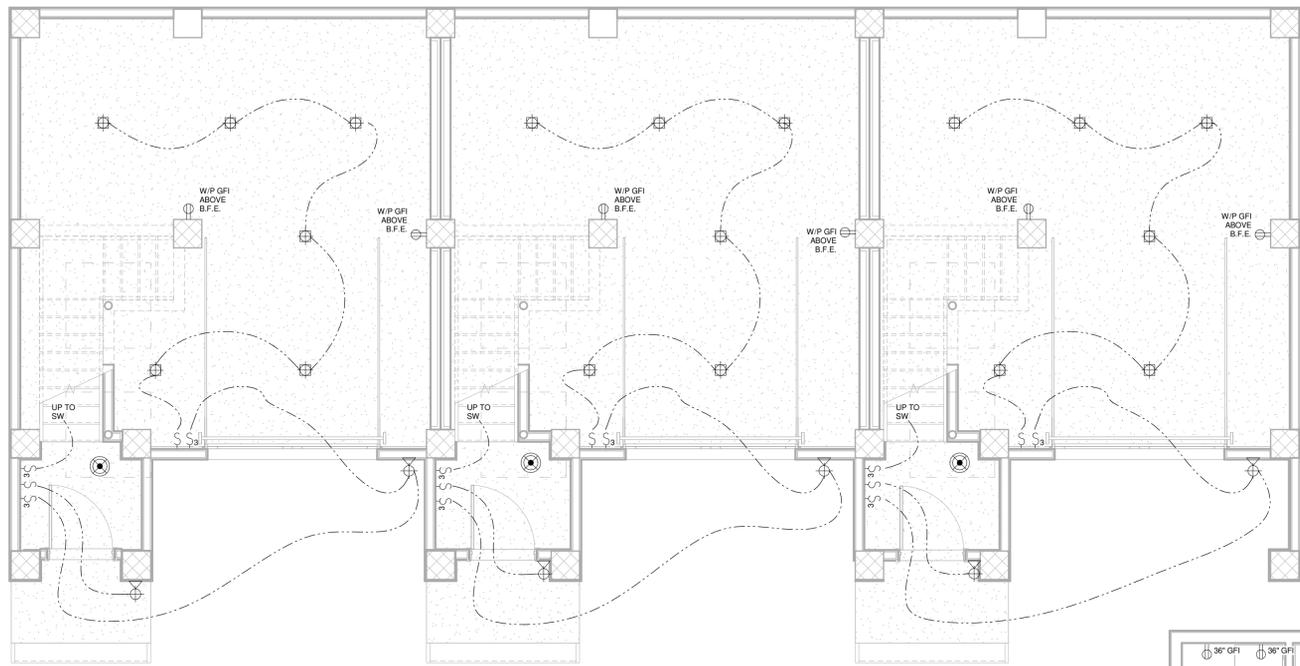
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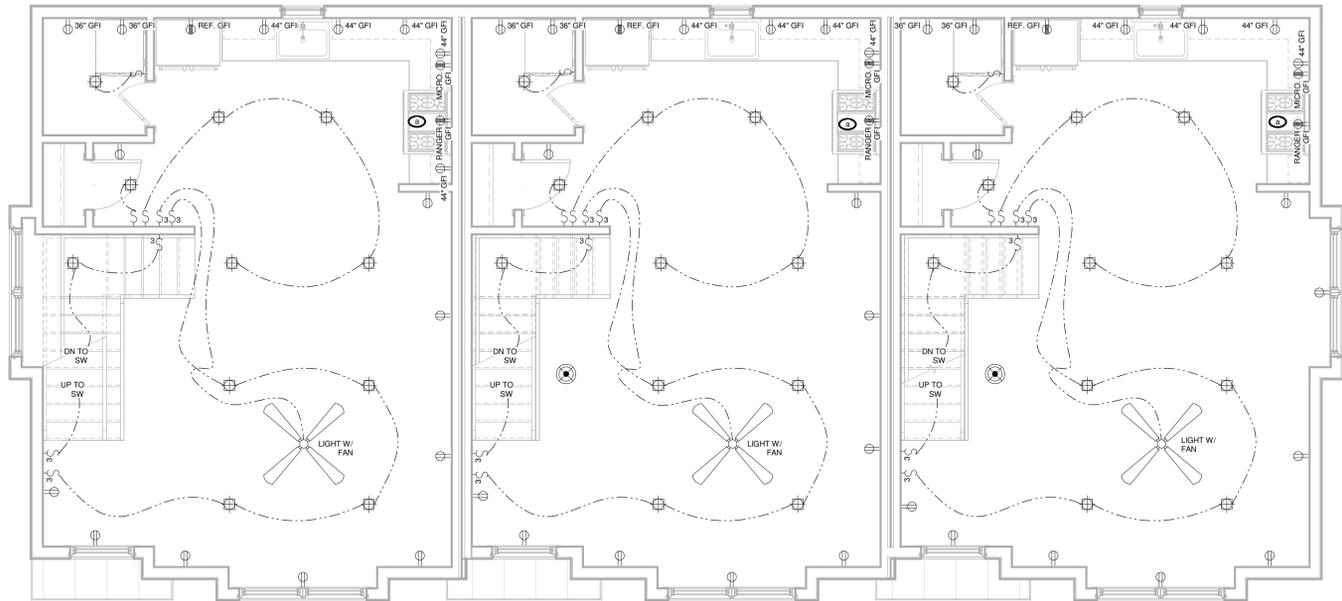
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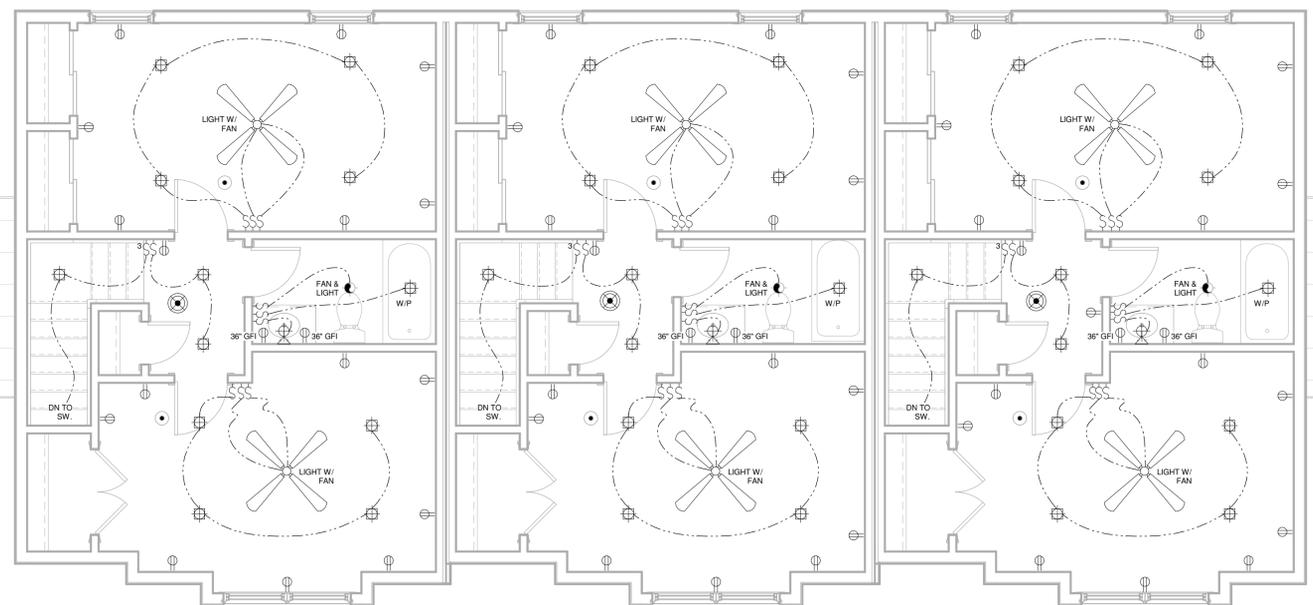


1 GARAGE PLAN ELECTRICAL
1/4" = 1'-0"

NOT FOR CONSTRUCTION



2 FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



3 SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRICAL NOTES:
ELECTRICAL FIXTURES TO BE AS SELECTED BY OWNER. CONTRACTOR TO VERIFY LIGHTING PLACEMENT WITH OWNER PRIOR TO INSTALLATION.
ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE & CURRENT CODES.
SWITCHES TO BE TOGGLE TYPE, 20 AMP, 120 VOLT AC, UNLESS OTHERWISE NOTED. COLOR AS SELECTED BY OWNER.
OUTLETS TO BE 3 WIRE GROUNDING TYPE, 20 AMP, 120 VOLT AC, COLOR AS SELECTED BY OWNER.
IF OWNER INSTALLS ANY LOW VOLTAGE HOUSE LIGHTING OR ALARM SYSTEMS, ELECTRICAL CONTRACTOR IS REQUIRED TO COMPLY TO ALL CODES & SHALL BE RESPONSIBLE TO OBTAIN A LOW VOLTAGE PERMIT.
CONTRACTOR SHALL PROVIDE A LUMINAIRE CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED PASSAGEWAY TO AN APPLIANCE. A RECEPTACLE SHALL BE INSTALLED AT OR NEAR THE APPLIANCE IN ACCORDANCE WITH THE ELECTRICAL SUB-CODE.

SYMBOLS LEGEND

| | |
|------|-------------------------------------|
| ⊕ | 110 VOLT OUTLET |
| ⊕ | QUAD OUTLET |
| ⊕WP | WATERPROOF OUTLET |
| ⊕GFI | GROUND FAULT INTERRUPTER OUTLET |
| ⊕ | HALF SWITCH OUTLET |
| ⊕ | WALL FIXTURE |
| ⊕ | CEILING FIXTURE- RECESSED |
| ⊕SM | CEILING FIXTURE- SURFACE MOUNTED |
| ⊕P | CEILING FIXTURE- PENDANT |
| ⊕PC | CEILING FIXTURE- PULL CHAIN |
| ⊕ | EXHAUST FAN & LIGHT |
| ⊕SD | SMOKE DETECTOR/ CARBON MONOXIDE |
| ⊕SD | SMOKE DETECTOR |
| ⊕ | 1 POLE SWITCH |
| ⊕ | 2 POLE SWITCH |
| ⊕ | 3 POLE SWITCH |
| ⊕ | DIMMER SWITCH |
| ⊕A | APPLIANCE JUNCTION BOX |
| ⊕ | GAS LINE |
| ⊕ | SURFACE MOUNTED FLOOR LIGHT FIXTURE |
| ⊕ | SURFACE MOUNTED FLOOD LIGHT |
| ⊕ | SURFACE MOUNTED WALL SCONCE |
| ⊕ | CEILING FAN |
| ⊕ | 2'-0"x4'-0" FLJLR LIGHT FIXTURE |
| ⊕ | 2'-0"x2'-0" FLJLR LIGHT FIXTURE |
| ⊕ | 2'-0"x4'-0" A.C.T. GRID |

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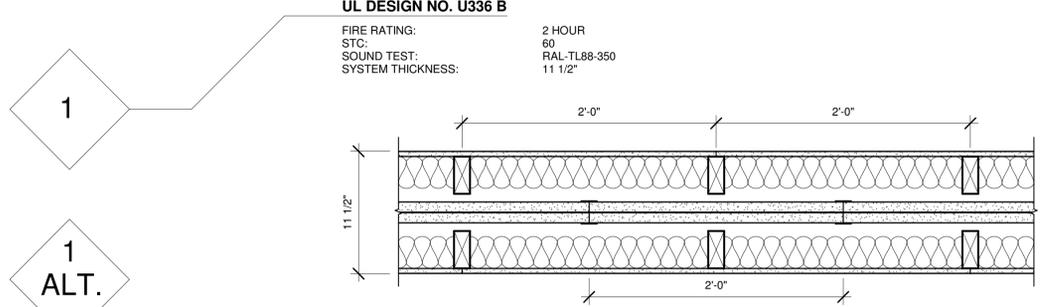
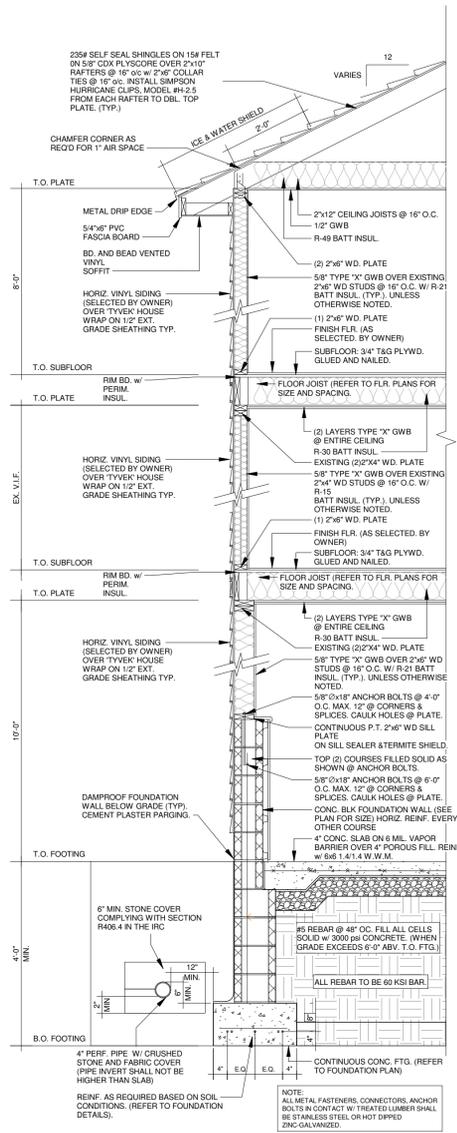
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A109

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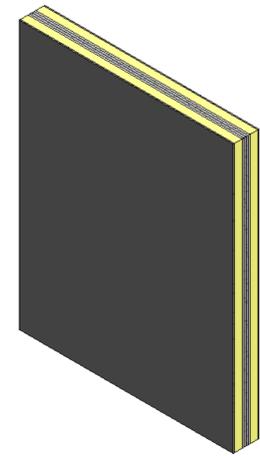
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UL DESIGN NO. U336 B
 FIRE RATING: 2 HOUR
 STC: 60
 SOUND TEST: RAL-TL88-350
 SYSTEM THICKNESS: 11 1/2"

ASSEMBLY OPTIONS:
GYPSUM BOARD: ONE LAYER 1/2" THICK GYPSUM BOARD (USG SHEETROCK BRAND GYPSUM PANELS)
WOOD STUDS: 2x4 WOOD STUDS, 24" O.C.
INSULATION: MIN. 3" GLASS FIBER BATT INSULATION IN CAVITY
AIR SPACE: 3/4" AIR SPACE
STEEL STUDS: 2" H-STUD, 24" O.C.
GYPSUM BOARD: TWO LAYER 1" THICK BY NOM. 2" WIDE GYPSUM LINER PANELS FRICTION FIT (UL TYPE SLX)
AIR SPACE: 3/4" AIR SPACE
WOOD STUDS: 2x4 WOOD STUDS, 24" O.C.
INSULATION: MIN. 3" GLASS FIBER BATT INSULATION IN CAVITY
GYPSUM BOARD: ONE LAYER 1/2" THICK GYPSUM BOARD (USG SHEETROCK BRAND GYPSUM PANELS)



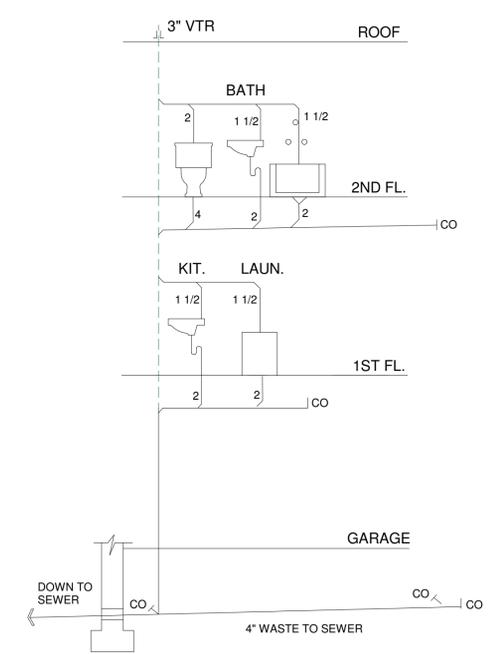
NOTES:
 STUD AND INSULATION SIZES ARE MINIMUM UNLESS OTHERWISE STATED IN DESIGN.
 FOR THE MOST UP-TO-DATE INFORMATION OR ASSEMBLY OPTIONS, REFER TO THE UL FIRE RESISTANCE DIRECTORY.
 REFER TO THE UL FIRE RESISTANCE DIRECTORY FOR INFORMATION REGARDING PRODUCT ORIENTATION AND FASTENING REQUIREMENTS.

1
 1
 ALT.

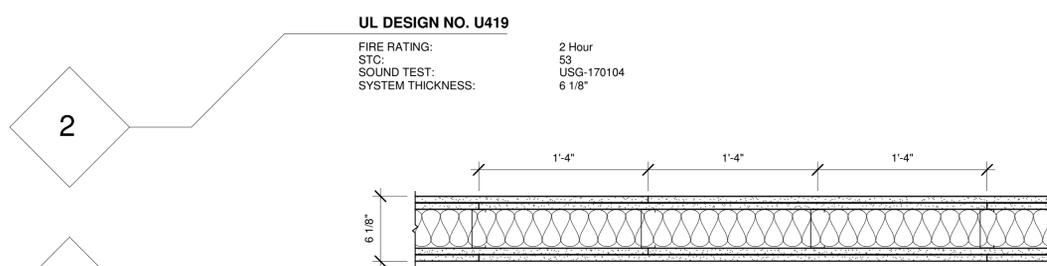
- PROVIDE STEEL STUDS INSTEAD OF WOOD.
 - 5/8 TYPE X DENSGLASS FIREGUARD SHEATHING - PROVIDE IN THE ENTIRE GROUND FLOOR ENCLOSURE

NOT FOR CONSTRUCTION

1 WALL SECTION
 1/2" = 1'-0"

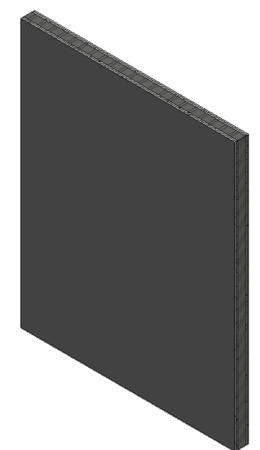


2 PLUMBING RISER DIAGRAM
 N.T.S.



UL DESIGN NO. U419
 FIRE RATING: 2 Hour
 STC: 53
 SOUND TEST: USG-170104
 SYSTEM THICKNESS: 6 1/8"

ASSEMBLY OPTIONS:
GYPSUM BOARD: TWO LAYERS 5/8" THICK GYPSUM BOARD (UL TYPE SCX™)
STEEL STUDS: 3-5/8" STEEL STUDS, EQ20 (0.019"), SPACED 16" O.C.
INSULATION: 3 1/2" GLASS FIBER BATT INSULATION IN CAVITY
GYPSUM BOARD: TWO LAYERS 5/8" THICK GYPSUM BOARD (UL TYPE SCX™)



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2

2
 ALT.

EXTERIOR SIDE TO HAVE STONE VENEER PICKED BY CLIENT

ANTHONY MALTESE P.E. P.L.S. P.P., C.M.E.
 PROFESSIONAL ENGINEER
 NJ LICENSE No. 42579

ANTHONY J. CHURCH
 REGISTERED ARCHITECT
 NJ LICENSE No. 21A100514600

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| NUMBER | DATE | REVISION | DESCRIPTION |
|--------|-----------|----------|---------------|
| 1 | 4-08-2021 | DAK | CLIENT UPDATE |
| 2 | 4-12-2021 | DAK | CLIENT UPDATE |

NOTES:

PROJECT DESCRIPTION:
 NEW MULTI-FAMILY UNITS
RARITAN AVE. LLC
 LOCATED AT:
 126 RARITAN AVE.
 KEANSBURG, N.J.

DATE: 06-12-2023

DRAWN BY: DAK

SCALE: AS NOTED

JOB #: 743

SHEET: 10 OF 11

A110

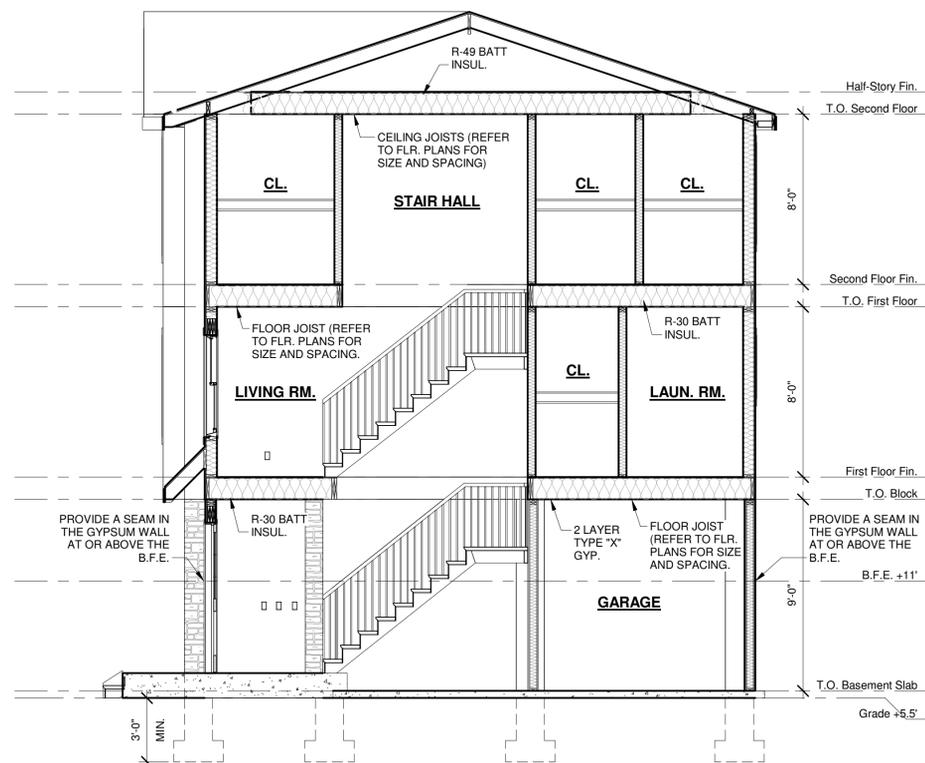


OFFICE: 732-370-9555 FAX: 732-933-9384

EMAIL: INFO@ARCHSTUDIOS.US
 WEBSITE: ARCHSTUDIOS.US

- RESIDENTIAL DESIGN
- COMMERCIAL DESIGN
- INDUSTRIAL DESIGN
- RELIGIOUS / INSTITUTIONAL DESIGN
- HEALTH CARE DESIGN
- STRUCTURAL DESIGN
- INTERIOR DESIGN

NOT FOR CONSTRUCTION



Section 1
1/4" = 1'-0"

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