

KEANSBURG PLANNING BOARD OF ADJUSTMENT

Site Plan Application Packet -- Cover Sheet

Statement: The applicant(s) will carefully build their Site Plan packet which will be held as an important Document. Please follow all the listed instructions as outlined on this Cover Sheet.

Pg. 1 - Checklist page - Fill out completely, and sign (case # excluded). Please leave a valid Cell Phone Number so as not to hold up the application if a problem arises. List the amount of copies (21) submitted. This will be checked by The Planning Board Secretary.

Pgs. 2 & 3 - Statement & Variance sheets that must be notarized. Two applications must have a raised Notary seal. The remaining applications may be copied.

Pg. 4 - Copy of Notice to Adjoining property owners. This is the notice that the applicant must send to all residents within 200 feet of their property.

Pg. 5 - Proof of Service - Notarized sheet from applicant of 200 foot service.

Pg. 6 - Certification by Tax Collector that taxes are Paid in Full by Block & Lot.

Additional items that must be included, and are listed on the Checklist page # 1:

- A. Copies of the Zoning Denial letter
- B. Copy of the Survey (Less than 3 years old).
- C. Architectural Plans, with front & side height elevations.
- D. Plot Plans, including existing & proposed setbacks. Note: On use variances or other than single family homes, plot plan to include, but not limited to; A Key Map, a map showing all buildings within 200 foot of the proposed work site. Plans Drawn to Scale
- E. All plans are to be folded; and are to be stored in legal folders.
- F. Affidavit of Publication (Star Ledger or Asbury Park Press)
 - a. Asbury Park Press
 - i. Phone: 732-643-3666
 - ii. Fax: 888-516-9440
 - iii. Email: AppLegals@Gannett.com
 - b. The Star Ledger
 - i. Phone: 732-902-4318
 - ii. Fax: 732-243-2750
 - iii. Email: LegalAds@NJAdvanceMedia.com
- G. Certified Mail return receipts enclosed. Including Utilities & Borough of Keansburg.
- H. Application Fee: 1 Check \$ 545 as per Fee Schedule/non-refundable fee.
- I. Escrow Fees: 1 Check \$ 2180 as per fee schedule/refundable balance
Escrow: additional fees may be required due to the approval process at the Planning Board level. The applicant will be notified via phone.

Please Remember - Applicants must build their Packets according to the instructions listed on this sheet and all instruction sheets that follow. Applicants must submit all notarized copies as listed as well as the total quantities listed.

Total packets must be delivered to Borough Hall, 20 days prior to Meeting!

(Cover Sheet for pages 1 to 6)

Attorney: Jim Kinneally
Marriott Callahan
520 Wahington Blvd
Sea Girt, NJ 08750
Telephone: 732 449 7474

Michael Konecny
Sandy Beaches, LLC
264 Hwy 36
Middletown, NJ 07748
848 207 7082

Property:
Sandy Beaches, LLC
102 Center Ave
Keansburg, NJ 07734
848 207 7082

Site Plan Application – Planning Board of Adjustment

Name: SANDY BEACHES LLC Case # _____
Address: 102 CENTER AVE Date: 10/14/23
Phone # 848 207 7082 Cell Phone # 848 207 7082

Application: (2 original copies notarized, pg. 3 – 21 total sets) 2 # submitted
Each Application (21 sets) must include a Copy of the Zoning Denial Letter (if you received a denial)

Proof of Service (2 copies notarized, pg. 5 – include w/above) _____ # submitted

Copy of Notice to Adjoining Property Owners, pg. 4 – include w/above _____ # submitted

Certified list of Property Owners (include with originals) _____ # submitted
Available from the Tax Assessor, includes total properties & Utilities

A Certification of taxes being paid (include w/total sets) 21 # submitted
This certification is available from the Tax Collector

A Copy of a Survey (less than 3 years old – 21 total sets) 21 # submitted

Architectural Plans (include w/packet – 21 total sets) 21 # submitted

Plot Plans (include w/packet – 21 total sets) Note: plot plans 21 # submitted
to include all setbacks, sidelines, both existing and proposed as well as all
accessories (Sheds, Pools, Decks, Fencing, Driveways, Garages, etc.).

Affidavit of Publication (Star Ledger 732-902-4318 /Asbury Park Press 732-643-3666) _____ # submitted
Must be submitted ten (10) days prior to Planning Board meeting

Certification Mail Return Receipts (PS Form 3800, June 2002) _____ # submitted
Must be submitted ten (10) days prior to Planning Board meeting

Application Fees – as per Fee Schedule Worksheet

1 Check Non-refundable Fees – Check # _____ Amt. \$ 545

1 Check Escrow (Unused fees are refundable) Check # _____ Amt. \$ 2180

Is Application complete? Yes: _____ No: _____ Date: _____

Applicants Signature: Michael Konecny

Planning Board Secretary or Designee: Complete

Date: _____ Incomplete

Total packets must be submitted to Borough Hall Ten (10) days prior to meeting
(Checklist Page 1 of 6 – Cover sheet is separate)

Attorney: Jim Kinneally
Marriott Callahan
520 WASHINGTON BLVD
SEA GIRT, NJ 08750
Telephone: 732 449 7474

Michael Konecny
Sandy Beaches, LLC
264 HWY 36
MIDDLETOWN, NJ 07748
848 207 7082

Property:
Sandy Beaches, LLC
102 Center Ave
Keansburg, NJ 07734
848 207 7082

Case # _____

Date Filed: 10/14/23

Action Taken: _____

FEE (Paid): _____

Date (of Action): _____

The section above is for Planning Board use

Keansburg Planning Board of Adjustment – Statement & Variance Sheets – pgs. 2 & 3

1. I (we), SANDY BEACHES LLC, The Applicant (s) Herein, whose

Address is 15 CONSTITUTION DR, LEONARDO 07737 am the Owner (s) [X] Int: CB

Prospective Purchaser(s) [] : _____ of property located on 102 CENTER AVE

And designated as Block 54 and Lot 1 on the Official Keansburg Tax Map.

2. Said property is in a R5 Zone, and is 32' x 92' (Size) and has the following

Structures on the property: VACANT PRESENTLY. PREVIOUSLY

A TWO FAMILY STRUCTURE.

3. Request is Hereby made for permission To: (Indicate type (s) of structure (s) and use thereof:

ONE SINGLE FAMILY STRUCTURE.

4. The proposed structure or use is contrary to the Zoning/Development regulations of Keansburg.

5. The following is contrary to the Development Ordinance: list & detail all Variances to be sought.

SEE ATTACHED

Details and Variances can be obtained from the Zoning Denial Letter which must be included in packet

6. Is the entire tract of land, Block 54 Lot 1 intended to be used ? [X] Yes [] No

7. Has the property been separated from an adjoining parcel ? [] Yes [X] No, if so when _____

If Yes, has The Planning Board approved the subdivision _____ Date: _____

1. 22-5.2c – No existing building or structure shall be moved, altered, added to or enlarged, nor shall any land or building or portion of a building or structure to be used, designed, or arranged to be used for any purpose unless in conformity with all of the regulations herein specified for the district in which it is located.

2. 22-5.5e – Setback variances required:

Description	Required	Proposed
Minimum Lot Area	7,500 SF	2,944 SF
Minimum Lot Frontage	75'	30'
Minimum Front Yard Setback	25'	18'
Minimum Side Yard Setback	7.5'	3.5'
Minimum Side Yard Setback (Bellevue Ave)	25'	3.5'
Minimum Side Yard Setback (Total)	32.5'	7.0'
Min.Gross Residential Ground Floor Area	600 SF	N/A
Maximum Lot Coverage-Principle Building	25%	26%
Minimum Lot Coverage All	50%	N/A
Maximum Building Height	35'/2.5 Stories	3 stories
Minimum Improved Off-Street Parking	2	2

3. Construction and repair of sidewalks, curbs, and driveways. 2.11;
 - c. Driveways and parking areas must conform to specifications of a minimum width of nine (9) feet and minimum length of eighteen (18) feet. The apron and depressed curb are not to be considered as part of the driveway unless approved by the Planning Board of Adjustment.
 - d. Vehicles shall not be parked on any front lawn without site approval from the Planning Board of Adjustment.
4. 22-9.3a(5) Off-Street Parking.
 - a. The driveway measures a minimum of thirty (30) feet in length between the garage door and the sidewalk or thirty-five (35) feet to the curb line.
5. Any other variances the Board may require in the course of hearing this application.

Statement & Variance Sheet – Continued:

8. Has there been any previous appeal involving this parcel/premises ? ☐ Yes ☒ No int: CE

If so, state date of filing: _____ List all the details and results of the Appeal.

9. By filing this application does the applicant (s) waive any and all rights gained previously N/A

10. Are there any open construction permits, permit fees, code violations, or court case that may with due cause prevent the Planning Board from hearing this application ? ☐ Yes ☒ No

If Yes, List details: _____

11. Attached hereto and made part thereof are all of the required 21 sets (packets) as detailed within the Checklist page (pg.1), including 21 sets of drawings, DRAWN TO SCALE, and containing all of the necessary measurements (setbacks, elevations, lot & structure square footage), and all structures and accessories (decks, garages, sheds, pools, fences, driveways, sidewalks, walks, patios, etc.) that are installed or within the confines of said property and are part and parcel of this application.

12. Check or Money Order for the Escrow (refundable balance) amount listed \$ 2,180.

I (we), The undersigned, being duly sworn according to law upon my oath do depose and state that all of the statements contained herein are based on my own knowledge and are true and correct.

Signed: Michael Kury Date: 10/24/23

* If the applicant is NOT the owner of the property herein, the owner must sign the following consent

* The foregoing application is hereby consented this 24 Day of Oct 20 23

Owner's Signature: Catherine Barrera Date: 10-24-23

Sworn to and subscribed before me on this 24 Day of

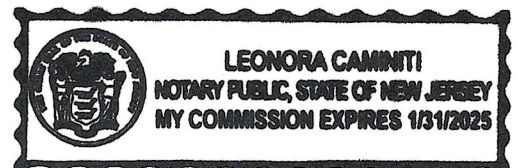
(Month) October 20 23

Notary Signature: Leonora Caminiti

Date: 10/24/2023

Two (2) application packets Must have raised Seal

(Page 3 of 6)



Seal



Keansburg Planning Board of Adjustment Notice of Hearing

You are hereby notified that Sandy Beaches, LLC has appealed from the action of the Zoning Officer of the Borough of Keansburg with respect to the property located 102 Center Ave, Keansburg, NJ more formally identified as Block:54 Lot:1 for a variance, interpretation, site plan, use variance, of the Development Regulations of Borough of Keansburg, Chapter 22 for a permit to construct a single family structure in connection with subject application, the applicant will be seeking approval for the following variances:

1. 22-5.2c – No existing building or structure shall be moved, altered, added to or enlarged, nor shall any land or building or portion of a building or structure to be used, designed, or arranged to be used for any purpose unless in conformity with all of the regulations herein specified for the district in which it is located.
2. 22-5.5e – Setback variances required:

Description	Required	Proposed
Minimum Lot Area	7,500 SF	2,944 SF
Minimum Lot Frontage	75'	30'
Minimum Front Yard Setback	25'	18'
Minimum Side Yard Setback	7.5'	3.5'
Minimum Side Yard Setback (Bellevue Ave)	25'	3.5'
Minimum Side Yard Setback (Total)	32.5'	7.0'
Min.Gross Residential Ground Floor Area	600 SF	N/A
Maximum Lot Coverage-Principle Building	25%	26%
Minimum Lot Coverage All	50%	N/A
Maximum Building Height	35'/2.5 Stories	3 stories
Minimum Improved Off-Street Parking	2	2

3. Construction and repair of sidewalks, curbs, and driveways. 2.11;
 - c. Driveways and parking areas must conform to specifications of a minimum width of nine (9) feet and minimum length of eighteen (18) feet. The apron and depressed curb are not to be considered as part of the driveway unless approved by the Planning Board of Adjustment.
 - d. Vehicles shall not be parked on any front lawn without site approval from the Planning Board of Adjustment.
4. 22-9.3a(5) Off-Street Parking.
 - a. The driveway measures a minimum of thirty (30) feet in length between the garage door and the sidewalk or thirty-five (35) feet to the curb line.
5. Any other variances the Board may require in the course of hearing this application.

The Keansburg Planning Board of Adjustment has scheduled the hearing to be held on the 8th day of January 2024 at 7:00 PM in the Council Chambers of the Municipal Building, 29 Church Street, Keansburg, NJ as the time and place for said appeal.

You or your agent or attorney are privileged to attend said hearing and may present any all objections which you may have to the granting of the relief sought in the petition. The application and related documents are on file in the Office of the Municipal Clerk and are available for review and inspection by the public between the hours of 9:00 a.m. and 4:00 p.m. when the days it is open for business.

Borough of Keansburg
Municipal Building
29 Church St. Keansburg, NJ 07734
Phone - 732-787-0215
Fax - 732-787-0787
Construction Department
Fax # 732-787-3699

CERTIFICATION OF TAXES

BLOCK 54 LOT 1

PROPERTY LOCATION: 102 CENTER AVE

The Status of Property taxes at the above location are as follows:

Current.

Should any additional information or an update be required; please utilize the above contact numbers.

Date: 10/24/23
T. Cusick

Thomas P. Cusick, CTC Tax Collector

I verify that this information accurately reflects
municipal tax records.

Tax Collector
Keansburg Borough
Monmouth County





Borough of Keansburg

Construction Office

29 Church Street • Keansburg, New Jersey 07734
Phone: 732/787-0215 Ext. 214 or 215 • Fax: 732/787-0778

September 08, 2023

Sandy Beaches LLC
15 Construction Dr.
Leonardo NJ 07737

Re: Construct New Single-Family Dwelling - Denied
102 Center Ave, Keansburg NJ 07734
Block/Lot: 54/1
Zone: R-5

Dear Applicant:

Regarding the above-mentioned property, please be advised that your Development Permit to construct a single-family dwelling has been denied for the following:

1. New construction must meet the yard setbacks as noted in the Development Regulations of the Borough of Keansburg. The new construction would have to be setback as set forth in 22-5.5.

I have also included a second page of information that you may need to include in your notices should you wish to appear before the Board.

If you wish to pursue this application you are directed to the Keansburg Planning Board of Adjustment for a formal hearing to grant the necessary variances which would be needed to permit the construction and for final approvals. Please see the Planning Board Secretary with any question you may have regarding the Planning Board application.

Respectfully,

Kathy Burgess

Assistant Zoning Officer, Borough of Keansburg

1. 22-5.2c – No existing building or structure shall be moved, altered, added to or enlarged, nor shall any land or building or portion of a building or structure to be used, designed, or arranged to be used for any purpose unless in conformity with all of the regulations herein specified for the district in which it is located.

2. 22-5.5e – Setback variances required:

Description	Required	Proposed
Minimum Lot Area	7,500 SF	2,944 SF
Minimum Lot Frontage	75'	30'
Minimum Front Yard Setback	25'	18'
Minimum Side Yard Setback	7.5'	3.5'
Minimum Side Yard Setback (Bellevue Ave)	25'	3.5'
Minimum Side Yard Setback (Total)	32.5'	7.0'
Min.Gross Residential Ground Floor Area	600 SF	N/A
Maximum Lot Coverage-Principle Building	25%	26%
Minimum Lot Coverage All	50%	N/A
Maximum Building Height	35'/2.5 Stories	3 stories
Minimum Improved Off-Street Parking	2	2

3. Construction and repair of sidewalks, curbs, and driveways. 2.11;
 - c. Driveways and parking areas must conform to specifications of a minimum width of nine (9) feet and minimum length of eighteen (18) feet. The apron and depressed curb are not to be considered as part of the driveway unless approved by the Planning Board of Adjustment.
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