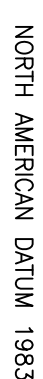


54-58 OAK STREET

TAX MAP SHEET NO. 11



DATE _____
CARMINE DI COSMO, P.E.
 PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GE05539600

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CUSTOM HOMES

2/12/2024

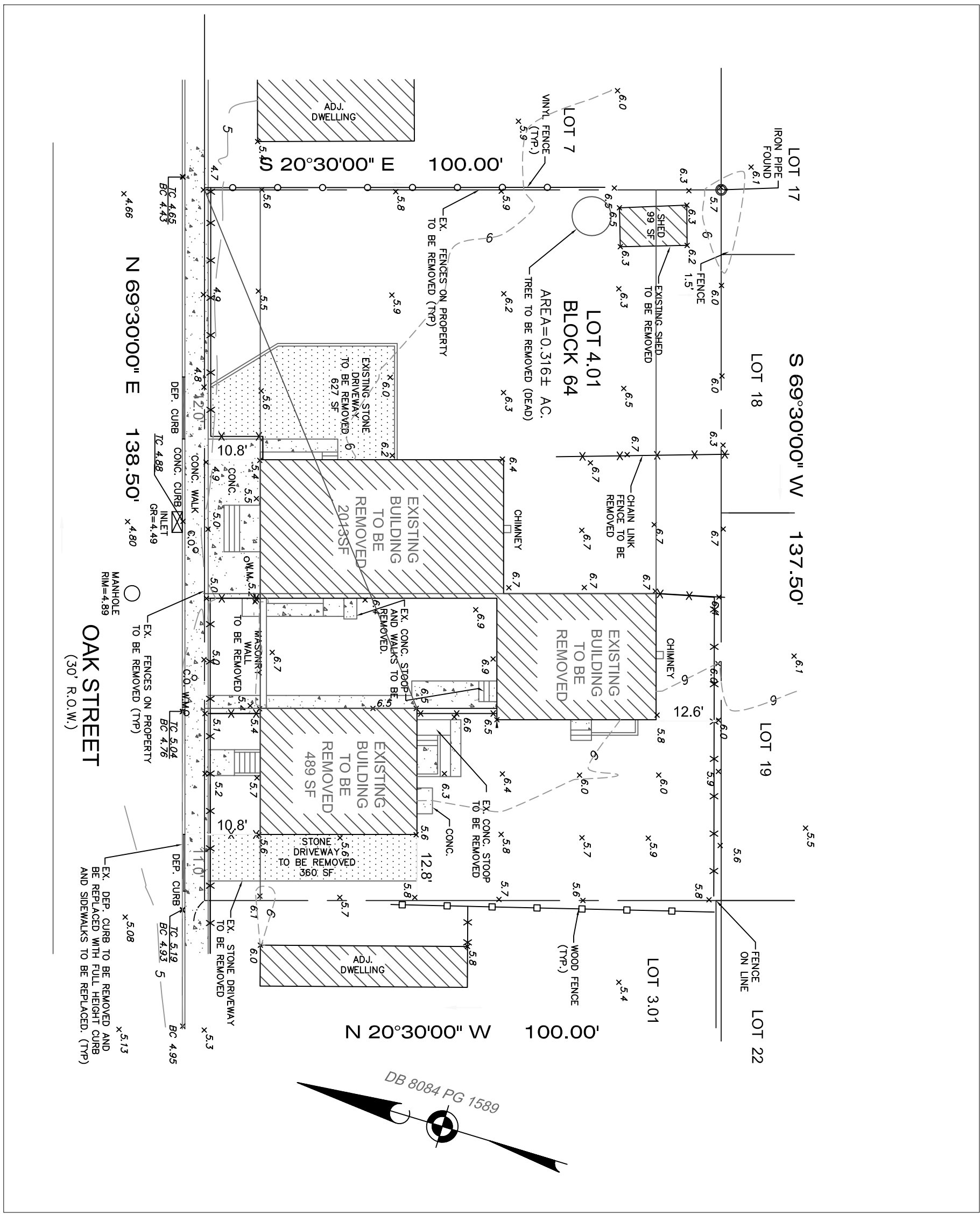
DRAWING TITLE:

COMMISSION NUMBER:

DRAWING NUMBER:

1

SHEET 1 OF 5



EXISTING CONDITIONS AND DEMOLITION PLAN

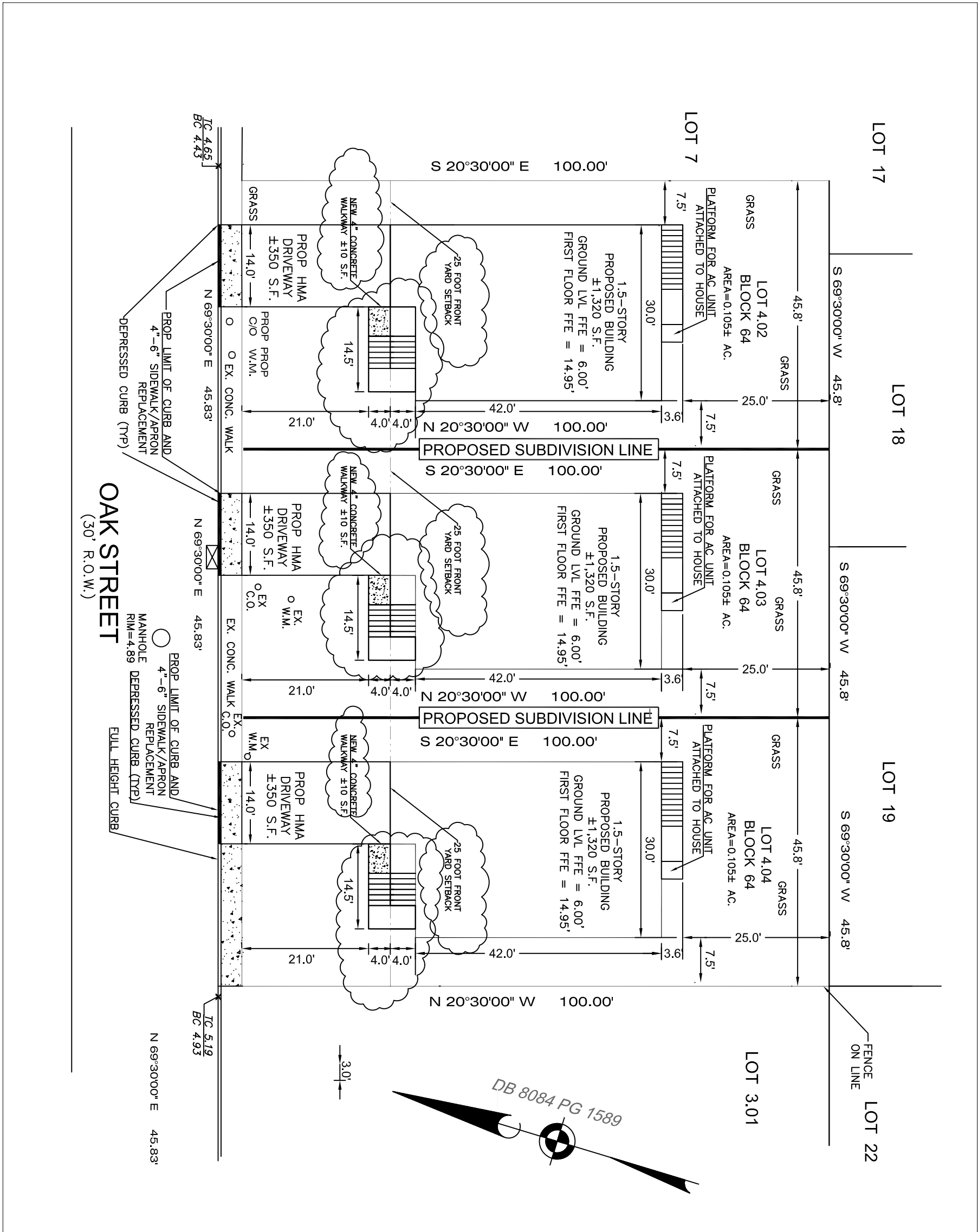
SCALE: 1"=20'

PARKING SCHEDULE			
PER THE BOROUGH OF KEANSBURG ORDINANCE SECTION 22-9.3			
UNITS	CRITERIA	REQUIRED	PROVIDED
3 (SINGLE FAMILY DETACHED)	3 BEDROOM DWELLING	REQUIRES 2 PARKING SPACES	2 SPACES/ DWELLING
TOTAL		6 SPACES	6 SPACES

SCHEDULE OF AREA YARD AND BULK REQUIREMENTS

BOROUGH OF KEANSBURG ZONE R-5

DESCRIPTION	REQUIREMENT	EXISTING					
		LOT 4.01	COMPLY	LOT 4.02	COMPLY	LOT 4.03	COMPLY
PERMITTED USE *	SINGLE FAMILY	MULTI-FAM	NO	SINGLE FAMILY	YES	SINGLE FAMILY	YES
MIN. LOT FRONTAGE	50 FEET	137.5 FEET	NO	45.83 FEET	NO	45.83 FEET	NO
MIN. LOT AREA	5000 SF	13,750 SF	YES	4583 SF	NO	4583 SF	NO
MIN. FRONT YARD	25 FEET	3 FEET	NO	25 FEET	YES	25 FEET	YES
MIN. SIDE YARD	7.5 FEET	12.8 FEET	YES	7.5 FEET	YES	7.5 FEET	YES
MIN. REAR YARD	25 FEET	12.6 FEET	NO	25 FEET	YES	25 FEET	YES
MAX. HEIGHT (STORIES/FEET)	2.5/35 FEET	YES	YES	1.5/26 FEET	YES	1.5/26 FEET	YES
MAX. LOT COVERAGE (DWELLING/ALL)	25/50	20/31	YES	28.8/37.9	NO/YES	28.8/37.9	NO/YES
DWELLING & DRIVEWAY COVERAGE	42.03 SF	YES	YES	1745 SF	YES	1745 SF	YES
LOT OPEN SPACE	20% 1000 SF	9547 SF	YES	2705 SF	YES	2705 SF	YES
* VARIANCE REQUIRED							



SITE LAYOUT AND DIMENSION PLAN

SCALE: 1"=20'

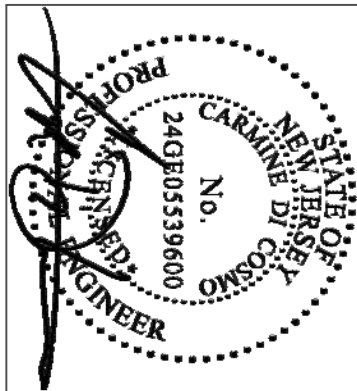
CERTIFICATION

I CERTIFY THAT THIS PLAN IS THE RESULT OF A SURVEY MADE ON JANUARY 30, 2019, BY MORGAN ENGINEERING AND SURVEYING, PREPARED FOR CARMINE DICOMO AND HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY OTHER THAN THE IMPROVEMENTS AND SUBDIVISION SHOWN.

SITE NOTES

1. THE PREMISES SHOWN HEREON WERE SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS SUBJECT TO SUCH FACTS AS A CURRENT TITLE SEARCH MAY SHOW.
2. THE PROPERTY MAY ALSO BE SUBJECT TO THE FOLLOWING:
 - a. RIGHTS AND CLAIMS OF PARTIES IN POSSESSION SHOWN OR NOT SHOWN BY THE PUBLIC RECORD
 - b. EASEMENTS OR CLAIMS OF EASEMENTS SHOWN OR NOT SHOWN BY THE PUBLIC RECORD.
3. NO DETERMINATIONS HAVE BEEN MADE REGARDING UNDERGROUND UTILITIES WHICH MAY EXIST, UNLESS SHOWN ON THE DRAWING.
4. SIDEWALKS/APPROXS AND CURB ASSOCIATED WITH THE RELOCATION OF DRIVEWAYS SHALL BE REFLECTED ON THE PLANS.
5. THE PROPERTY IS SITUATED IN FLOOD ZONE AE (BASE FLOOD ELEVATION 11 FT) PER A PLAN ENTITLED "TRIN" FLOOD INSURANCE RATE MA, FOR THE BOROUGH OF KEANSBURG, PANEL NO. 340303 MAP NO. 3402500034F EFFECTIVE ON 9/25/2009
6. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION TEST PITS SHALL BE EXCAVATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, LABOR AND INSTALLATION OF ALL ITEMS OF CONSTRUCTION FOR THE TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN DRAWN IN ACCORDANCE WITH THE FIELD SURVEY PERFORMED BY MORGAN ENGINEERING AND SURVEYING PERFORMED ON JANUARY 30, 2019.
8. IN THE EVENT A SITUATION ARISES IN WHICH MATERIALS NOT SPECIFIED ON THE PLANS ARE TO BE USED, THEN THE MATERIALS SHALL CONFORM TO THE NINETEEN STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2019 ED., AS CURRENTLY SUPPLEMENTED AND AMENDED.
9. WORK HOURS SHALL BE DONE BETWEEN TEN THE TIMES OUTLINED IN THE BOROUGH OF KEANSBURG ORDINANCE.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS, LABOR AND INSTALLATION OF ALL ITEMS OF CONSTRUCTION FOR THE SUCCESSFUL COMPLETION AND OPERATION OF THE PROJECT SATISFACTORY TO THE OWNER AND THEIR REPRESENTATIVE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
11. ANY SITE ITEMS INCLUDING BUT NOT LIMITED TO EXISTING CURBS, SIDEWALK, ROADWAY, AND OTHER OBJECT EITHER IN POOR CONDITION OR DAMAGED BY CONSTRUCTION SHALL BE RE-PAVED AND/OR REPLACED TO THE SATISFACTION OF THE BOROUGH ENGINEER.
12. ALL IMPROVEMENTS SHALL BE ADA COMPLIANT WHERE APPLICABLE.



CARMINE DI COSMO, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 246905339600
DATE: 5/10/2023

PROJECT NO.	DATE
5/10/2023	
DESIGNED BY	
CD	
SCALE	FIELD BOOK

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PROJECT: JULIETTE
CUSTOM HOMES

AMENDED SITE PLAN
2022-15
54, 56, & 58 OAK ST.
KEANSBURG, NJ 07344
BLOCK 64
LOT 4.02, 4.03, 4.04

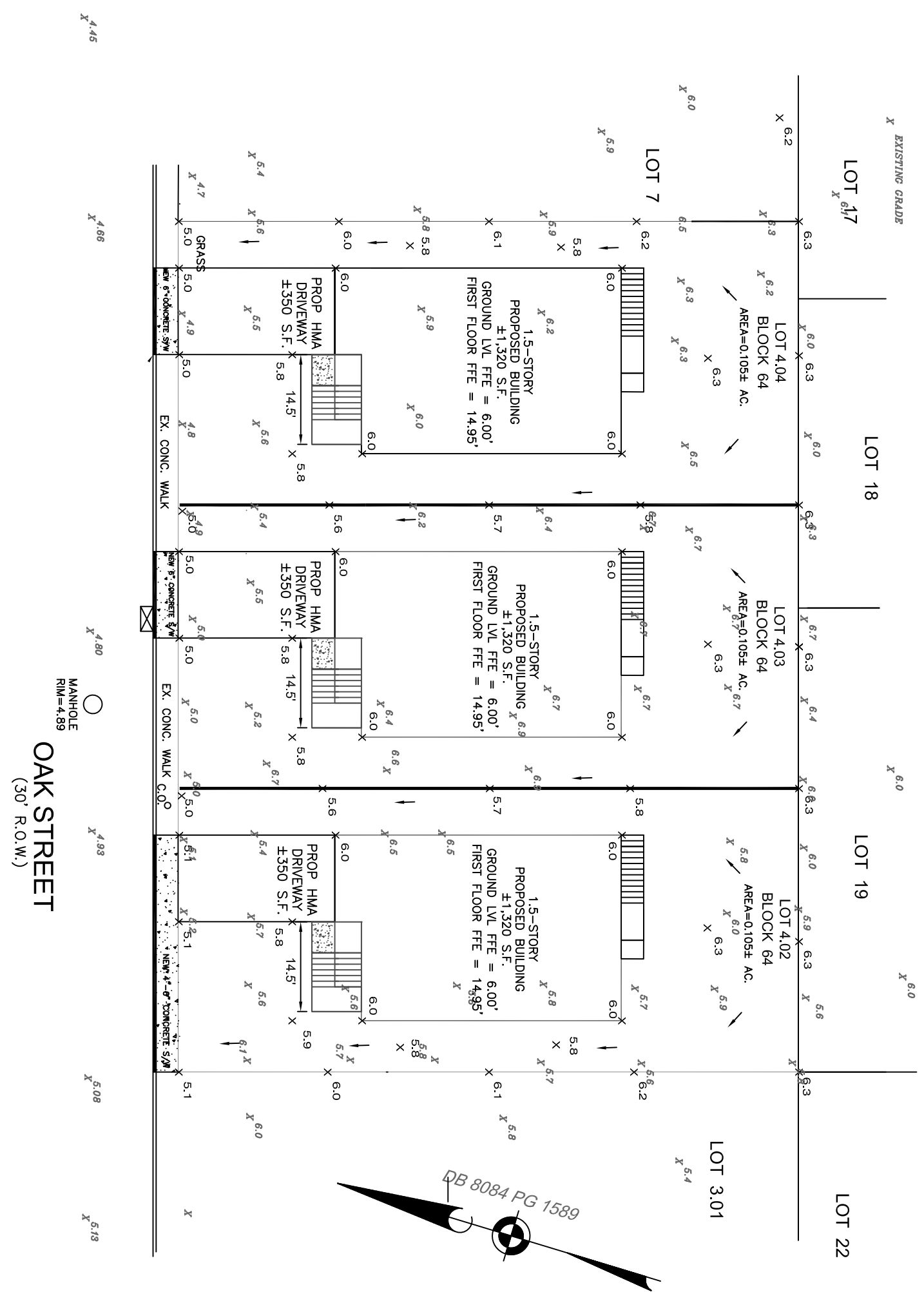
SUBMISSION DATES:	5/10/2022
INITIAL SUBMISSION	5/10/2022
ENGINEERING REVIEW LETTER	8/4/22
PLANNING BOARD COMMENTS	10/17/22
FREEHOLD SOLIS SUBMISSION	11/21/2022
RESOLUTION COMPLIANCE DRAWINGS	10/26/2023
12-15-23 T&M LETTER REVISIONS	1/22/2024
FRONT DECK REVISION	2/12/2024

DRAWING TITLE:
PLOT PLAN
WITH
EXISTING
CONDITIONS
AND
DEMOLITION PLAN

COMMISSION NUMBER:

DRAWING NUMBER:

SHEET 2 OF 5

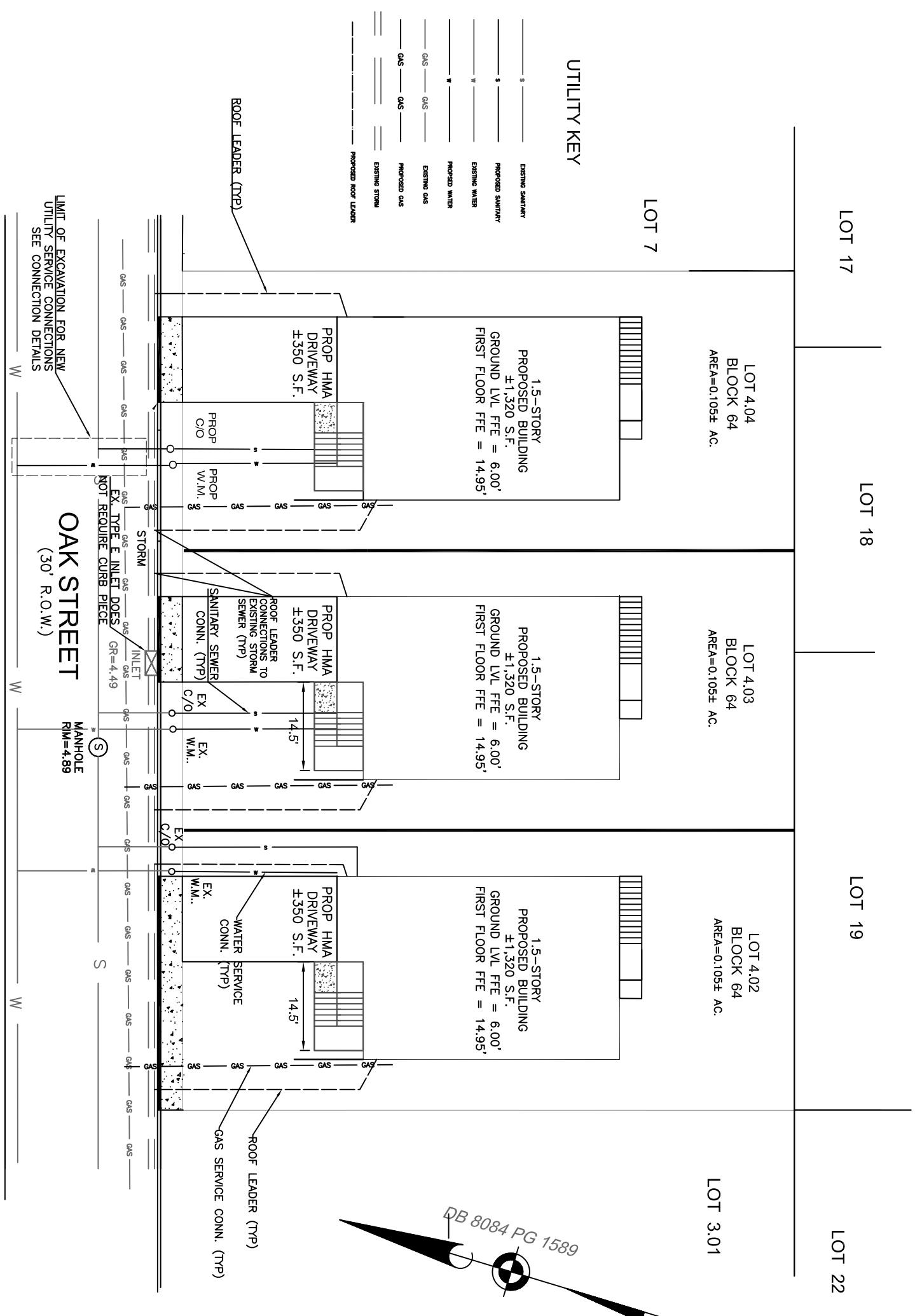


GRADING AND DRAINAGE PLAN

SCALE: 1"=20'

GRADING NOTES:

- 1) SITE GRADING SHALL FACILITATE DRAINAGE AWAY FROM ANY STRUCTURE AND SHALL NOT IMPACT NEIGHBORING LOTS
- 2) FEMA FLOOD ELEVATION FOR THIS FLOOD ZONE HAS A BASE ELEVATION OF 11 FEET. THE FINAL FLOOR ELEVATION SHALL BE 11 FEET LESS THE FINAL GRADE PLUS AN ADDITIONAL 2 FEET WHICH EXCEEDS THE STANDARD

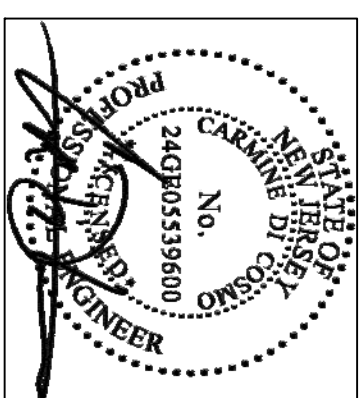


UTILITY PLAN

SCALE: 1'=20'

UTILITY NOTES

- 1) THE CONTRACTOR IS ADVISED THAT EXISTING UNDERGROUND UTILITIES ARE PRESENT IN THE AREA OF PROPOSED IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEST PITS TO DETERMINE LOCATION, SIZE AND TYPE OF UTILITIES.
- 2) ALL UTILITY REMOVAL AND RELOCATION TO BE COORDINATED WITH EACH RESPECTIVE UTILITY COMPANY.
- 3) THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL CURB, SIDEWALK, PAVEMENT, LAWN AND STRIPING REMOVED FOR UTILITY INSTALLATION.
- 4) CONTRACTOR IS RESPONSIBLE FOR IMMEDIATE REPAIR OF ANY UTILITIES DAMAGED DURING CONSTRUCTION, EXCAVATION, GRADING, ETC. THE EXISTING UTILITIES MUST REMAIN OPERATIONAL, WHILE CONSTRUCTION IS ONGOING.
- 5) BEFORE ANY EXCAVATION MAY COMMENCE, NO ONE CALL SHALL BE CONTACTED TO MARK OUT ALL EXISTING UTILITIES.
- 6) COORDINATE WITH ICP&L TO RELOCATE OVERHEAD ELECTRICAL WIRES.
- 7) EXISTING UTILITY POLES ARE ON THE OPPOSITE SIDE OF THE STREET, NO RELOCATIONS REQUIRED.
- 8) THE CONTRACTOR MUST VERIFY THE CONDITION AND FUNCTIONALITY OF THE EXISTING SANITARY AND WATER CONNECTIONS PRIOR TO RECONNECTING NEW LATERALS TO THE EXISTING SYSTEMS.
- 9) EXISTING SEWER AND WATER CONNECTIONS BETWEEN THE MAIN AND THE PROPERTY LINE ARE INTENDED TO BE RETAINED FOR THE PROPOSED DWELLINGS ON LOTS 4 AND 4.03, HOWEVER, LOT 4.01 SHALL REQUIRE A NEW SERVICE CONNECTIONS TO THE SANITARY SEWER MAIN AND WATER MAIN.
- 10) ROOF LEADERS SHALL BE CONNECTED DIRECTLY TO STORM SEWER SYSTEM FOR ALL DWELLINGS UNLESS OTHERWISE NOTED BY THE ENGINEER.
- 11) PERMITTING TO BE COORDINATED FOR ROAD OPENING AND UTILITY CONNECTION.



CARMINE DI COSMO, P.E.
PROFESSIONAL ENGINEER, N.J. LIC. NO. 24GEO5539800

PROJECT No.	DATE
DRAWN BY	5/10/2023
CD	DESIGNED BY
SCALE	CD
	FIELD BOOK

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JULIETTE
CUSTOM HOMES

AMENDED SITE PLAN
2022-15
54, 56, & 58 OAK ST.
KEANSBURG, NJ 07734
BLOCK 64
LOT 4.02, 4.03, 4.04

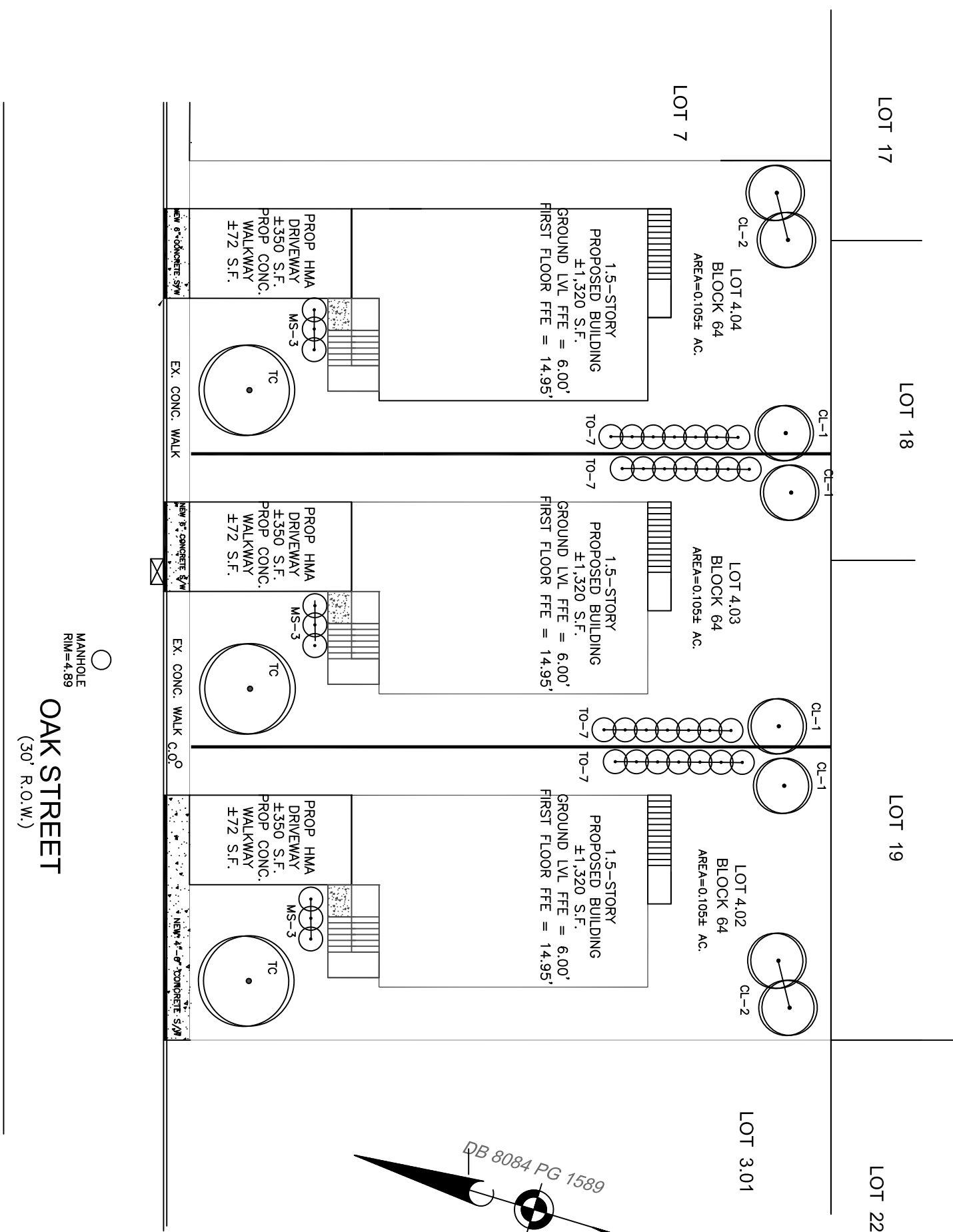
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5. 12-15-23 T&M LETTER REVISIONS	1/12/2024
6. FRONT DECK REVISION	2/12/2024

DRAWING TITLE:
GRADING PLAN
AND
UTILITIES PLAN

COMMISSION NUMBER

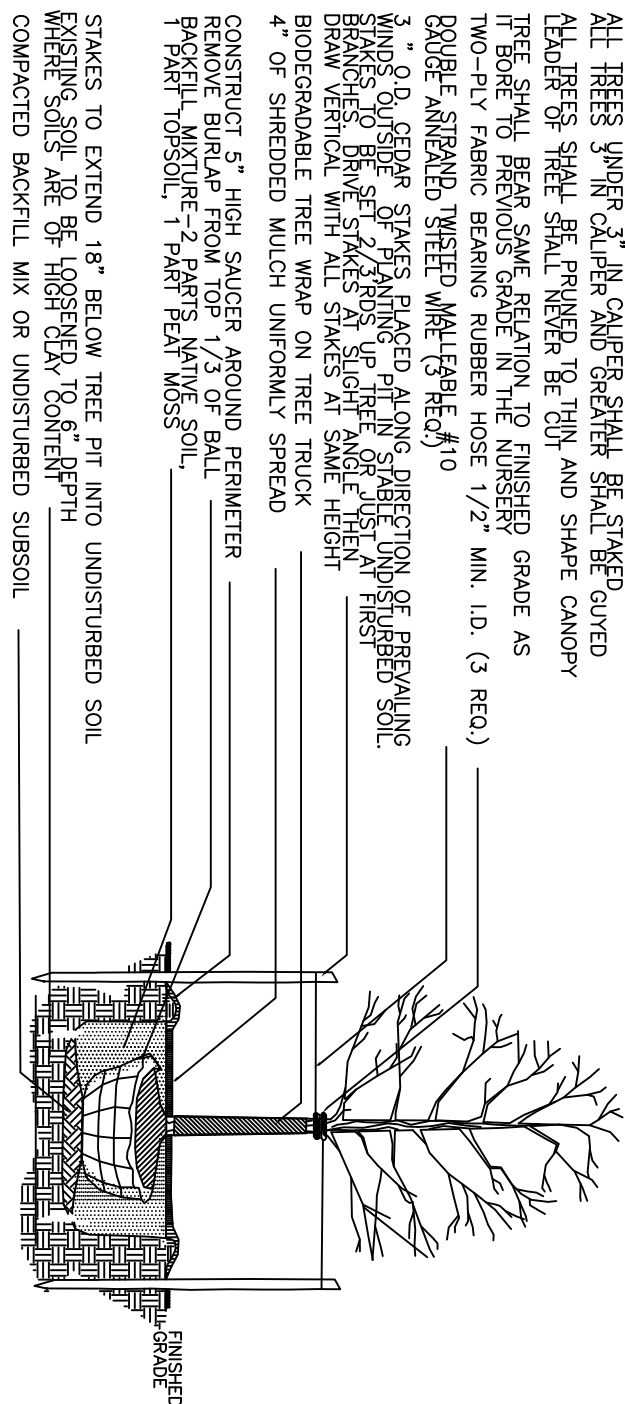
DRAWING NUMBER

35
SHEET _____ OF _____



LANDSCAPING PLAN

SCALE: 1' = 20"



DECIDUOUS TREE PLANTING DETAIL

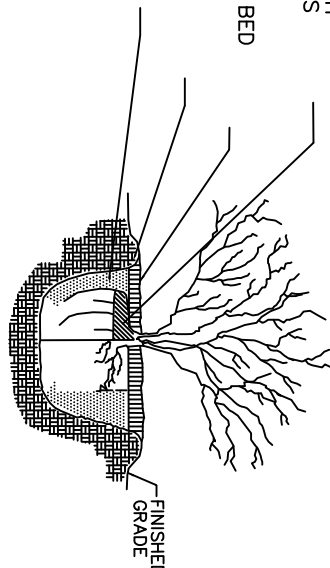
N.T.S.

1. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL/ENGINEERING PLAN TO BECOME THOROUGHLY FAMILIAR WITH GRADING AND SURFACE UTILITIES.
2. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW. SEE SEASONAL PLANT LIST FOR PLANTING TIMES OF BULBS AND SEASONAL PLANTS.
3. DURING PLANTING OPERATIONS, EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE.
4. THE CONTRACTOR SHALL CALL N.A. UNDERGROUND UTILITY LOCATION SERVICE (UTILITY A MINIMUM OF THREE DAYS BEFORE PLANTING). THE CONTRACTOR IS ADVISED THAT THE EXISTENCE OF UNDERGROUND UTILITIES PRESENT TO THE OWNER OR ANY DIGGING OPERATIONS, IN THE EVENT THEY ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. IF ANY UTILITIES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANCES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
5. MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, EXISTING AND PROPOSED, SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF THE CONSTRUCTION ARCHITECT OR OWNER.
6. CONSTRUCTION BEGINS. ANY DISPERSED SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
7. PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD. THE CONTRACTOR SHALL STAKE ALL MATERIAL LOCATED ON THE SITE FOR REVIEW AND/OR ADJUSTMENT BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ALL LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE EXCAVATION.
8. PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN NURSERY ASSOCIATION. PLANTS SHALL BE SPECIALLY GROWN AND SPECIFIC SIZE, GRADE, COLOR, ETC. OF BULBS AND PLANTS OF BRANCH STRUCTURE. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT UNLESS THIS REQUIREMENT IS SPECIFICALLY WAIVED.
9. ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
10. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
11. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH, IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE PLAN AND ALL WORK AND MATERIAL WHICH, IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE PLAN.
12. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES SHALL BE DONE UTILIZING A METHOD AGREED UPON BY THE LANDSCAPE ARCHITECT AS INDICATED ON THE DOCUMENTS ON OR ENTIRELY OUT OF PLANTING BEDS.
13. LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE STAKING OF ALL TREES AND SHRUBS. PLANTING BED LINES ARE NOT TO BE OBLITERATED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH 4-INCH SHREDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDED WITHIN THE LAST SIX MONTHS.
14. ALL PLANTING BEDS ADJACENT TO LAWN, SOIL, OR SEED BEDS SHALL BE SPADE EDGED.
15. MAINTENANCE ACTIVITIES SHALL BE DONE AFTER EACH PLANTING AND SHALL CONTINUE UNTIL 90 DAYS AFTER PLANTING. MAINTENANCE ACTIVITIES SHALL BE REPRESENTED BY THE CONTRACTOR AND INCLUDES WATERING, PRUNING, WEEDING, FERTILIZING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE, IF REQUESTED BY THE OWNER.
16. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
17. ALL TREES, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR A PERIOD REQUIRED BY THE CLIENT AND MUNICIPALITY FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS.

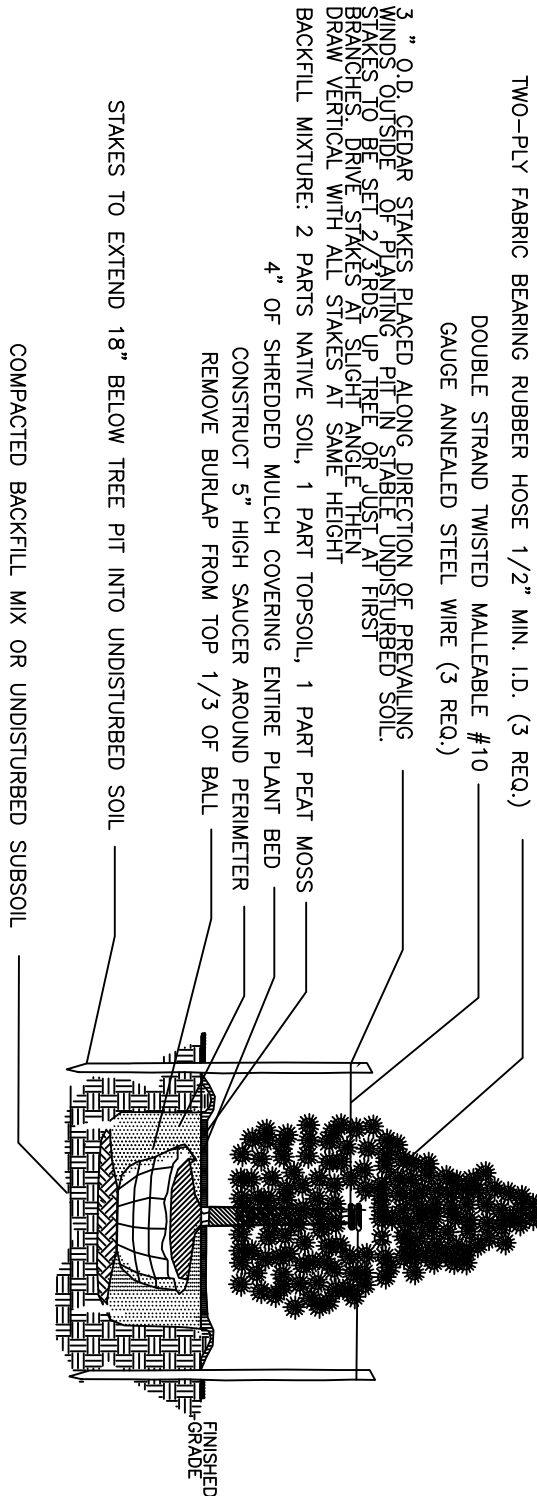
18. ALL DISTRIBUTED AREAS OF THE SITE NOT PLANTED WITH SHRUBS OR GROUND COVER SHALL BE FINE GRADED AND SEEDED OR SODED.
19. ALL SOIL (IF AND WHERE REQUIRED) SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS FAMILIAR TO AREAS TO BE COVERED. AREAS TO BE SODED SHALL BE PAVED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 6" IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOIL WILL BE REJECTED TO THE NEAREST LANDFILL. ALL PLANTINGS SHALL BE PLANTED WITH NO DIMENSIONS IN SHADE. FLUDGE ALL SOIL IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
20. ALL PLANTING PROCEDURES SHALL CONFORM TO NIDOT SPECIFICATIONS.
21. SOME FIELD LOCATED PLANTS ARE NOT GRAPHICALLY SHOWN ON THIS PLAN BUT ARE WITHIN THE LIMIT OF CONSTRUCTION. ALL PLANTS (FIELD LOCATED PLANTS GRAPHICALLY SHOWN PLANTS) ARE NOTED ON THE PLANT LIST.
22. THIS PLAN IS TO BE USED FOR LANDSCAPING AND LIGHTING PURPOSES ONLY. THE CONTRACTOR SHALL EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR EXACT LOCATIONS OF UTILITIES. DRAINAGE, EROSION CONTROL, AND OTHER UTILITIES SHALL BE IDENTIFIED AND NOTED ON THE PLANT LIST.
23. ALL PLANT MATERIALS USED SHALL BE TRUE TO NAME AND SIZE IN CONFORMITY WITH THE AMERICAN STANDARD OF NURSERY STOCK (LATEST VERSION) AND SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE AGRICULTURAL WELL-DEVELOPED BRANCHES AND A WOODS GROWTH HABIT. THE TREE SHALL BE SOUND, HEALTHY, FREE FROM DISEASES, INSECT PESTS, BORERS AND ALL OTHER FORMS OF INFESTION. ALL PLANTS SHALL BE NURSERY GROWN. ALL PLANTS SHALL BE GRADE A NURSERY STOCK.
24. EXCAVATION NEAR EXISTING UTILITIES TO BE CAREFULLY PERFORMED BY HAND. ALL TREES SHALL NOT BE LOCATED CLOSER THAN 10' OF ANY EXISTING OR PROPOSED UNDERGROUND UTILITIES.
25. ALL EXISTING TREES SHALL BE PROTECTED AND MAINTAINED. ALL TREES SHALL BE GRADED AT THE NURSERY.
26. ALL EXISTING TREES SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IF BORE TO EXISTING FIELD ADJUST ALL PROPOSED PLANTING LOCATIONS TO AVOID ANY DAMAGE TO EXISTING FACILITIES, AS WELL AS VEGETATION.
27. ALL PLANTING MATERIAL IS TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS FROM THE FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
28. PRUNE NEWLY PLANTED TREES AS DIRECTED BY THE LANDSCAPE ARCHITECT. ALL PINES SHALL BE PRUNED AND MAINTAINED BY THE LANDSCAPE ARCHITECT. PLANTS SHALL ONLY BE INSTALLED WHEN THE SOIL IS FROST FREE.
29. UNDER NO CIRCUMSTANCES SHOULD THE MAIN LEADER OF A DECIDUOUS OR EVERGREEN TREE BE TOPPED.
30. ALL DISTURBED AREAS TO BE TOP SOILED 4" THICK, FERTILIZED, SEEDED AND MULCHED WITH SMALL GRAIN STRAW. TOPSOIL SHALL BE NATURAL FRABLE, FERTILE, SOIL CHARACTERISTIC OF PRODUCTIVE SOIL IN THE VICINITY. IT SHALL BE FREE OF LUMPS OF CLAY, STONES, ROOTS AND OTHER FOREIGN MATTER.
31. SHADE TREES LOCATED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BRANCH BELOW 7'.
32. ALL SHRUB MASSES SHALL FORM PLANTING BEDS AND SHALL BE MULCHED.
33. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF BALL ONLY IF NON-JUTE ROPING IS USED.
34. THE DEPTH OF PLANTING PITS SHALL BE INCREASED BY 12" THROUGH THE ADDITION OF LOOSE AGGREGATE (3/4" TO 1-1/2" DIAMETER) WHEREVER POOR DRAINAGE OCCURS OR WHERE DIRECTED BY THE LANDSCAPE ARCHITECT.
35. GUY WIRES SHALL BE LOCATED SO THAT THEY WILL NOT BULB PROTRUDING ABOVE GUY WIRES TO SECOND ROW. ALL GUY WIRE SHALL BE LOCATED 18" ABOVE GROUND. ALL GUY WIRE SHALL BE 1/4" GALVANIZED IRON. INDICATED TREE STAKES AND GUY WIRES SHALL BE REMOVED AFTER ONE GROWING SEASON.
36. PLANTS PLANTED IN ROWS SHALL BE MATCHED SPECIES AND BE UNIFORM IN SIZE AND FORM.
37. MULCH 4" IN DEPTH, SHALL BE EITHER WOOD CHIPS, PINE BARK OR SHREDED HAZZARD BARK. NOT EXCEEDING 2" IN GREATEST DIMENSION. A WEED RETARDANT BARRIER SHALL BE USED IN ALL NON-GRASSED AREA.
38. ALL PLANTS WITHIN SIGHT RANGE OF EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE ELEVATION OF CURB.

SNAL QTY.	SCIENTIFIC NAME	COMMON NAME	SIZES	PLANTING METHOD
	DECIDUOUS TREES			
TC 3	TILIA CORDATA	LITTLE LEAF LINDEN	12-14' HT., 2.5-3" CAL	B&B
CL 8	CUPRESSUS x LEYLANDII	LEYLAND CYPRESS	5-6' HT	B&B
TO 28	THUJA OCCIDENTALIS	ARBORVITAE	4-5' HT	CONTAINER
MS 9	MISCANTHUS SINENSIS	MAIDEN GRASS	5 GALLON	CONTAINER

SNAL QTY.	SCIENTIFIC NAME	COMMON NAME	SIZES	PLANTING METHOD
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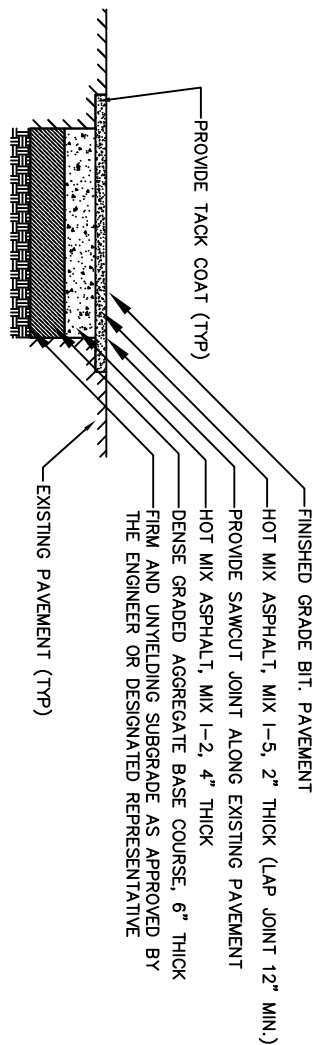


N.T.S



N.T.S.

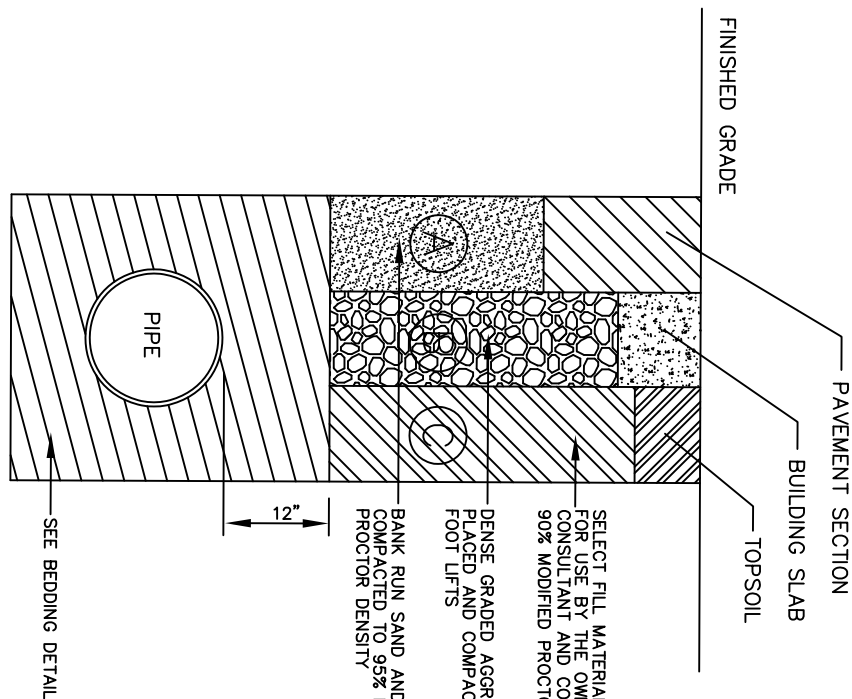
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- NOTES:
1. THIS PAVEMENT SECTION SHALL APPLY TO ALL PROPOSED PAVEMENT
 2. ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS, 2001 EDITION, AS AMENDED.

FULL DEPTH ROADWAY PAVEMENT RESTORATION SECTION

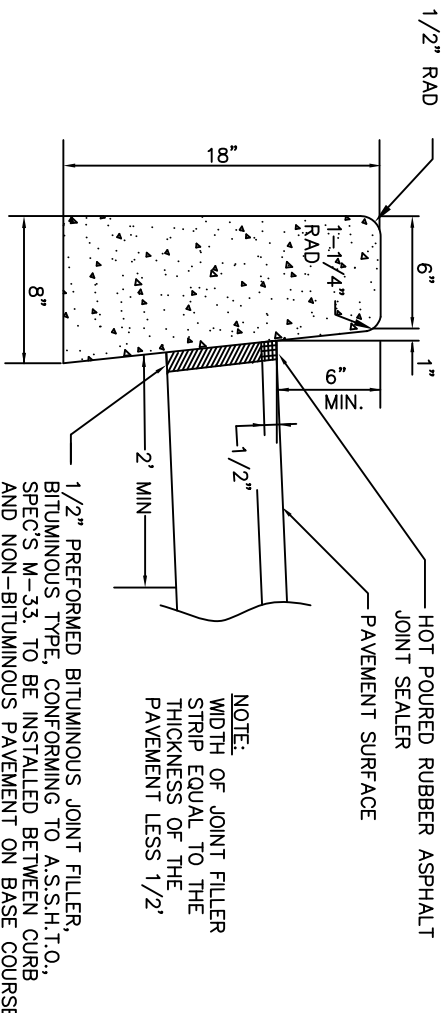
N.T.S.



- CONSTRUCTION CASES:
- A. TRENCH UNDER ROADWAY (EXTEND 5' OUTSIDE CURB/EDGE OF PAVEMENT)
 - B. TRENCH UNDER BUILDING SLAB/FOOTING (EXTEND 5' OUTSIDE BUILDING LINE)
 - C. TRENCH UNDER OFF-ROAD AREAS

TRENCH REPAIR

N.T.S.

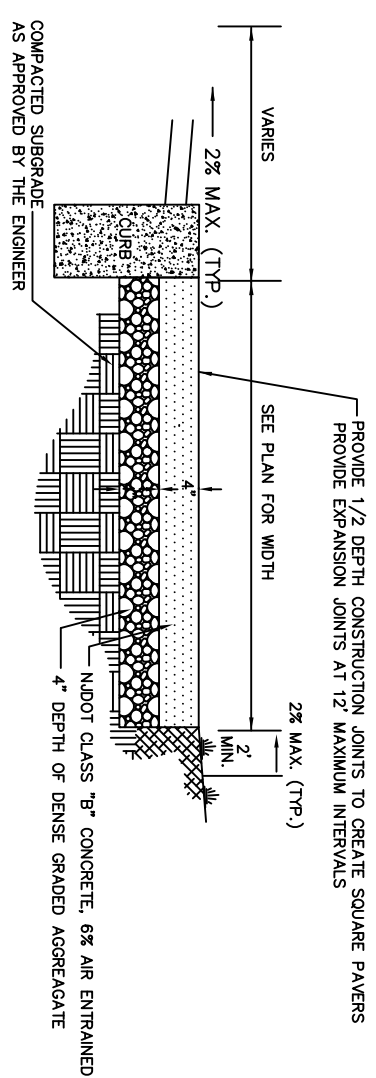


TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREPARED CONCRETE. JOINTS SHALL BE RECESSED 1/4" DEPTH IN THE PAVEMENT. THE REQUIREMENTS OF AASHTO SPEC M-213, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

1. EXPANSION JOINTS SHALL BE PERFORMED ASPHALTIC JOINT FILLER
2. ALL FORMWORK SHALL BE INSPECTED AND APPROVED BY THE ENGINEER.
3. CONCRETE SHALL BE AIR ENTRAINED 4500 PSI AS PER THE 2019 AASHTO ROAD AND BRIDGE SPECIFICATION
4. ROADWAY ADJACENT TO CURB REPLACEMENT SHALL BE RECONSTRUCTED FULL DEPTH AS PER DETAIL A MINIMUM OF 2' FROM THE CURB.

6"x8"x18" CONCRETE VERTICAL CURB

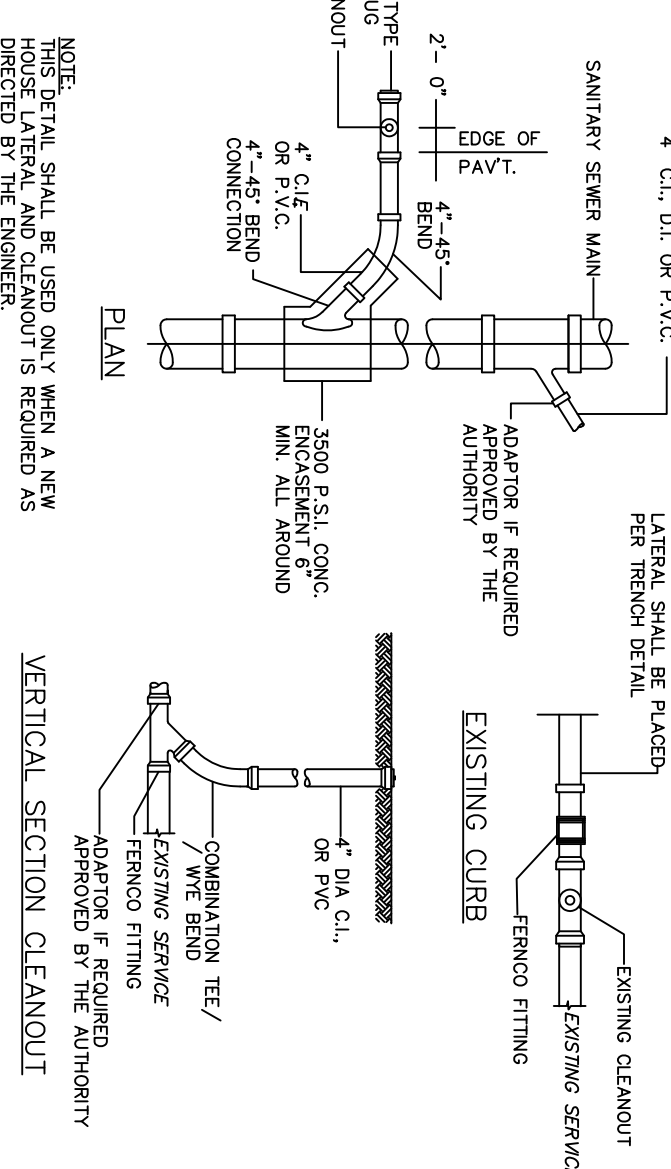
N.T.S.



- NOTES:
1. EXPANSION JOINTS SHALL BE PERFORMED ASPHALTIC JOINT FILLER
 2. ALL FORMWORK SHALL BE INSPECTED AND APPROVED BY THE ENGINEER.
 3. CONCRETE SHALL BE AIR ENTRAINED 4500 PSI AS PER THE 2019 AASHTO ROAD AND BRIDGE SPECIFICATION

CONCRETE SIDEWALK AND DOORWAY LANDING, 4" THICK

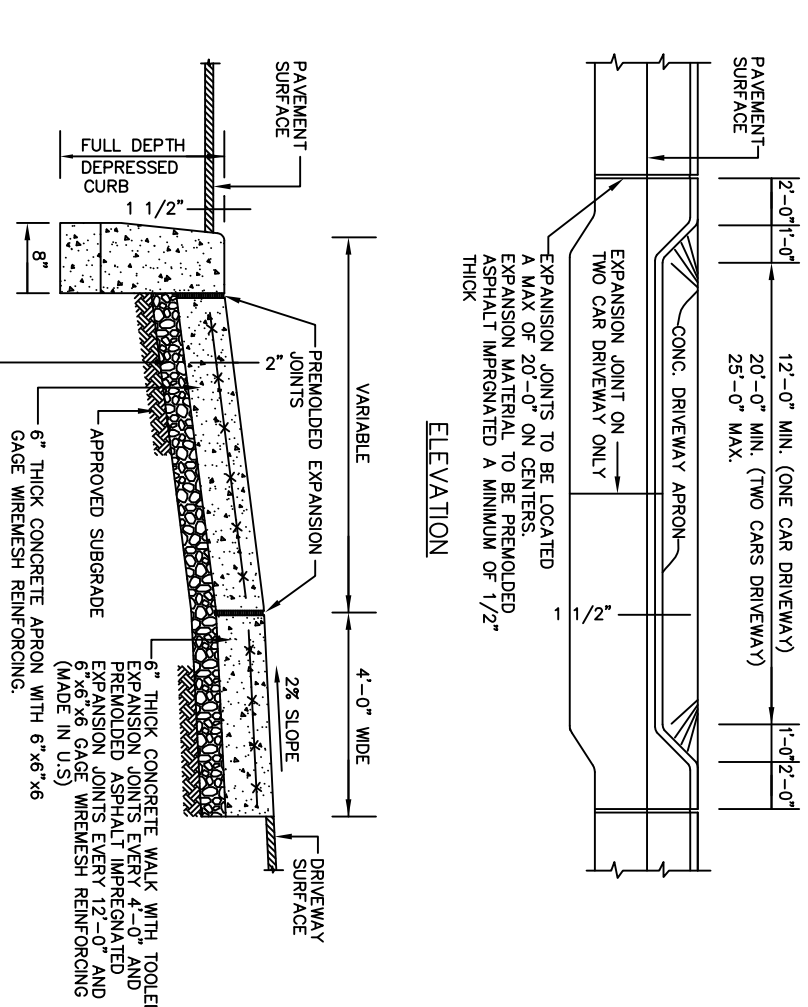
N.T.S.



TYPICAL 4 INCH HOUSE CONNECTION INSTALLATION

MAIN (LESS THAN 8' DEEP)

NOT TO SCALE

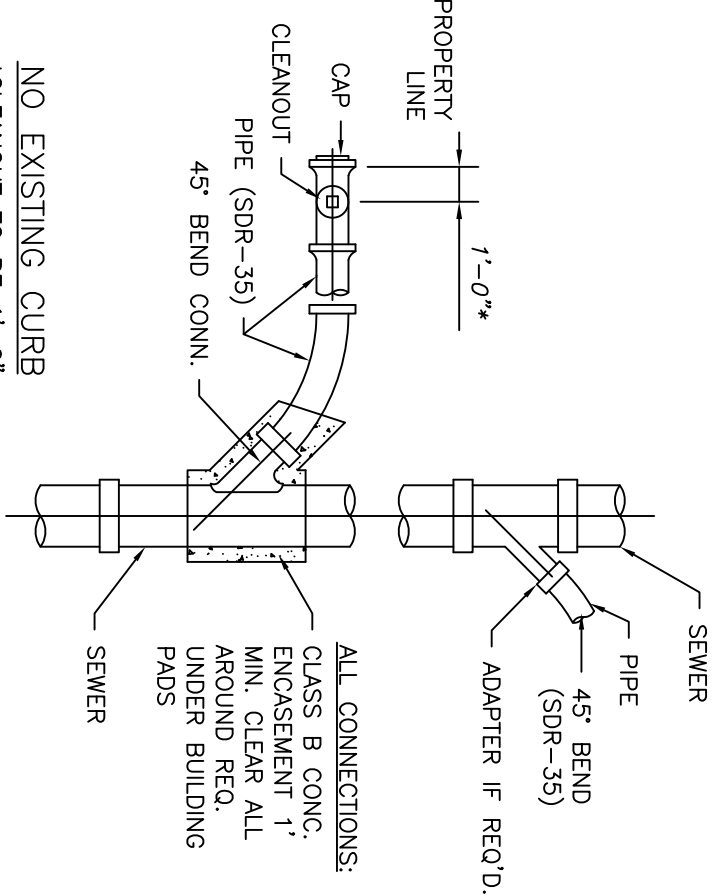


- NOTES:
- A. CONCRETE TO BE 4500 P.S.I. MIN.

DEPRESSED CURB, DRIVEWAY ENTRANCE

APRON & SIDEWALK DETAIL

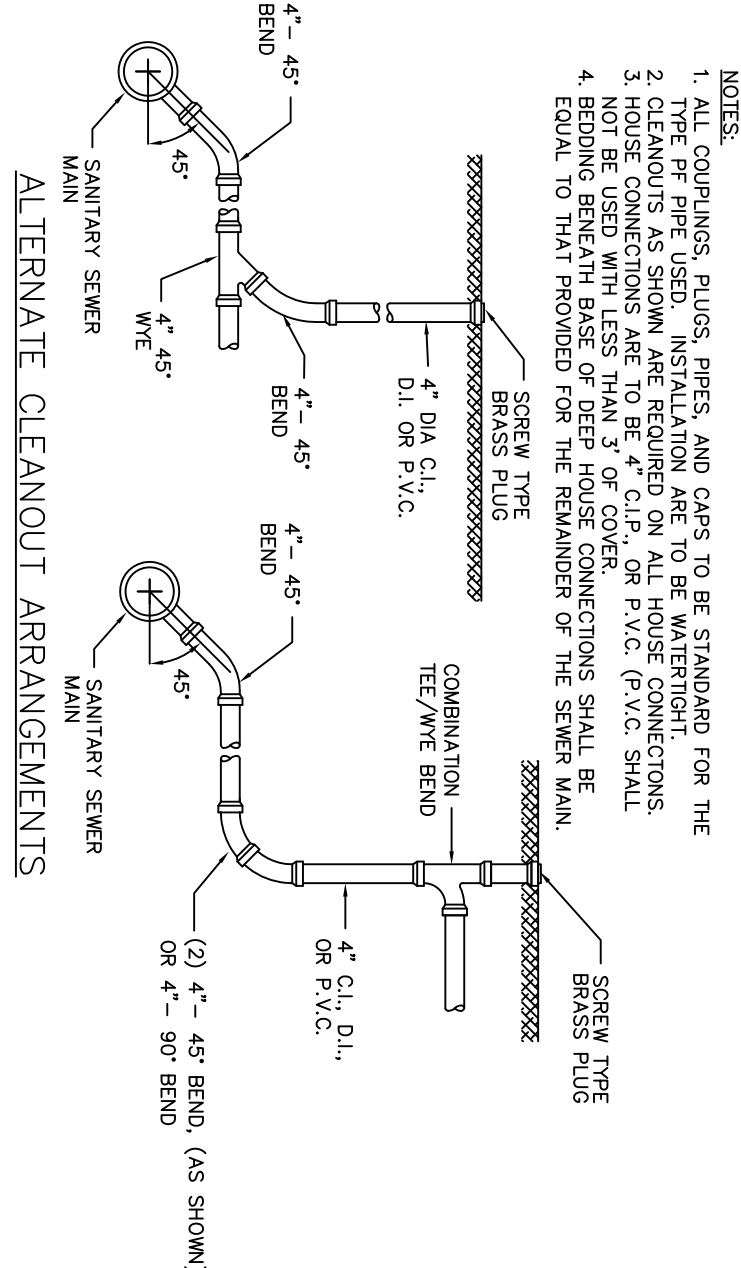
NOT TO SCALE



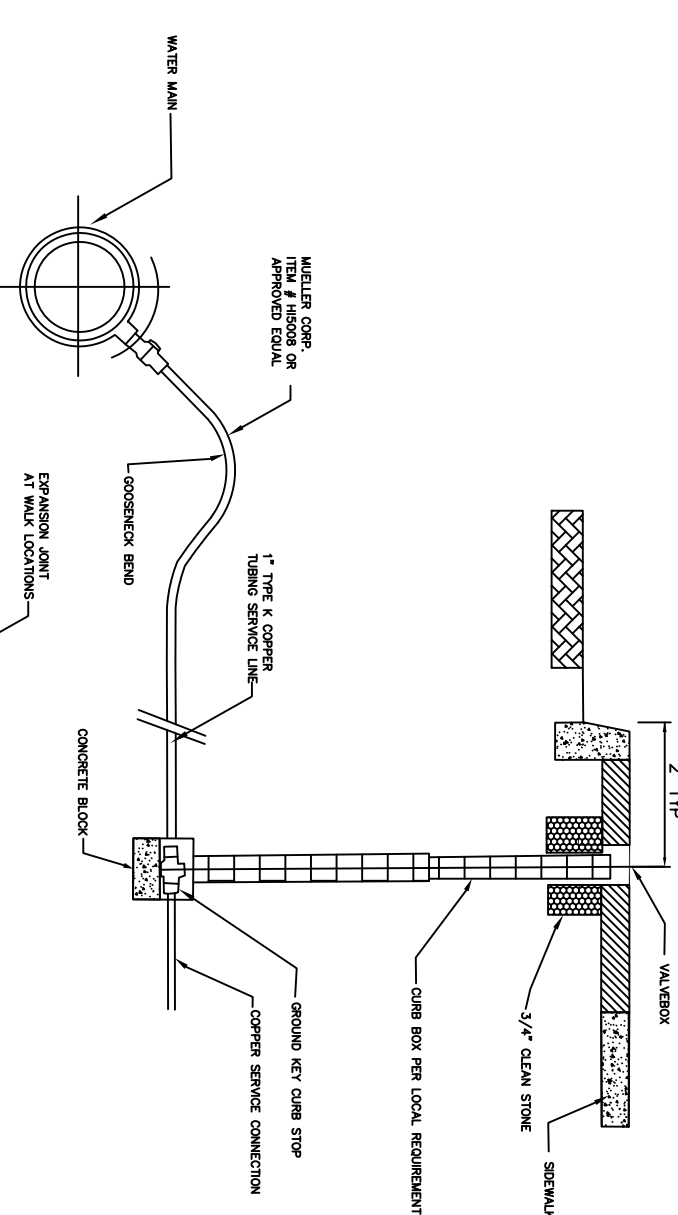
- NOTES :
1. PVC LATERALS SHALL NOT BE USED FOR LESS THAN 3' OF COVER UNDER ROADWAYS, D.I.P. SHALL BE USED.

STORM LATERAL CONNECTION

N.T.S.

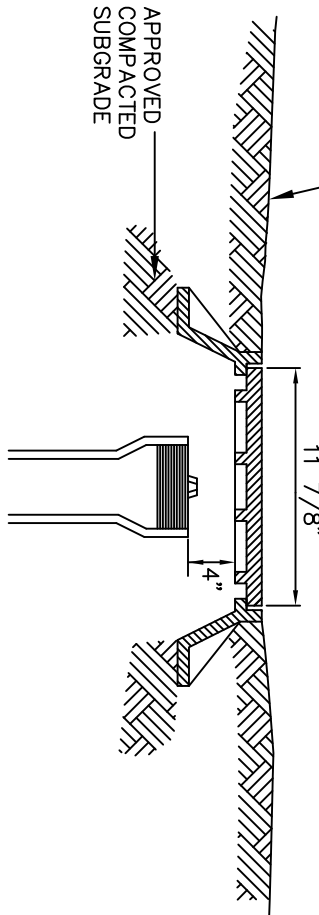


NOT TO SCALE



HOUSE WATER SERVICE CONNECTION DETAIL

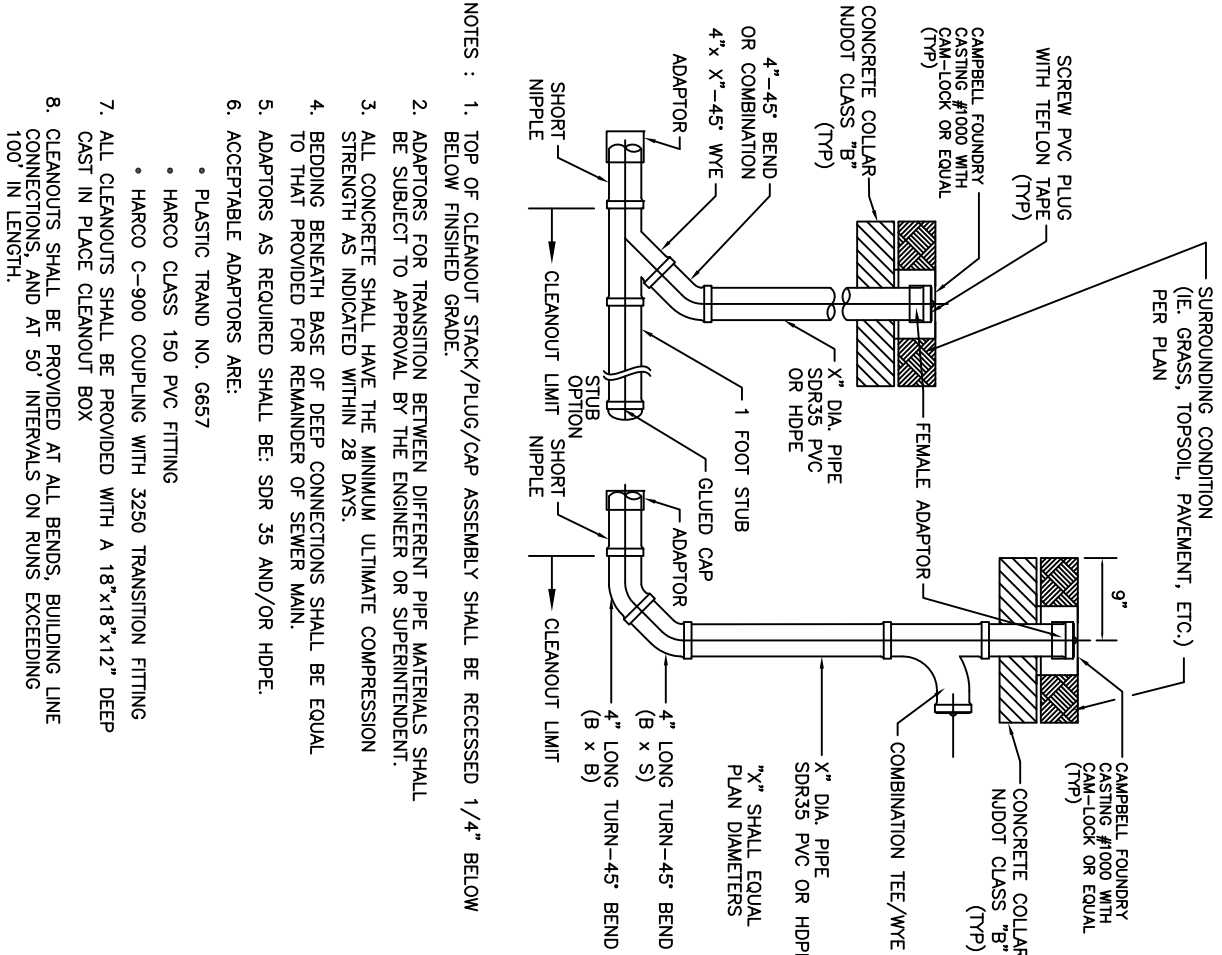
N.T.S.



- NOTE:
- CLEANOUT COVER REQUIRED FOR ALL CLEANOUTS LOCATED IN SIDEWALK OR PAVEMENT

CLEANOUT COVER DETAIL

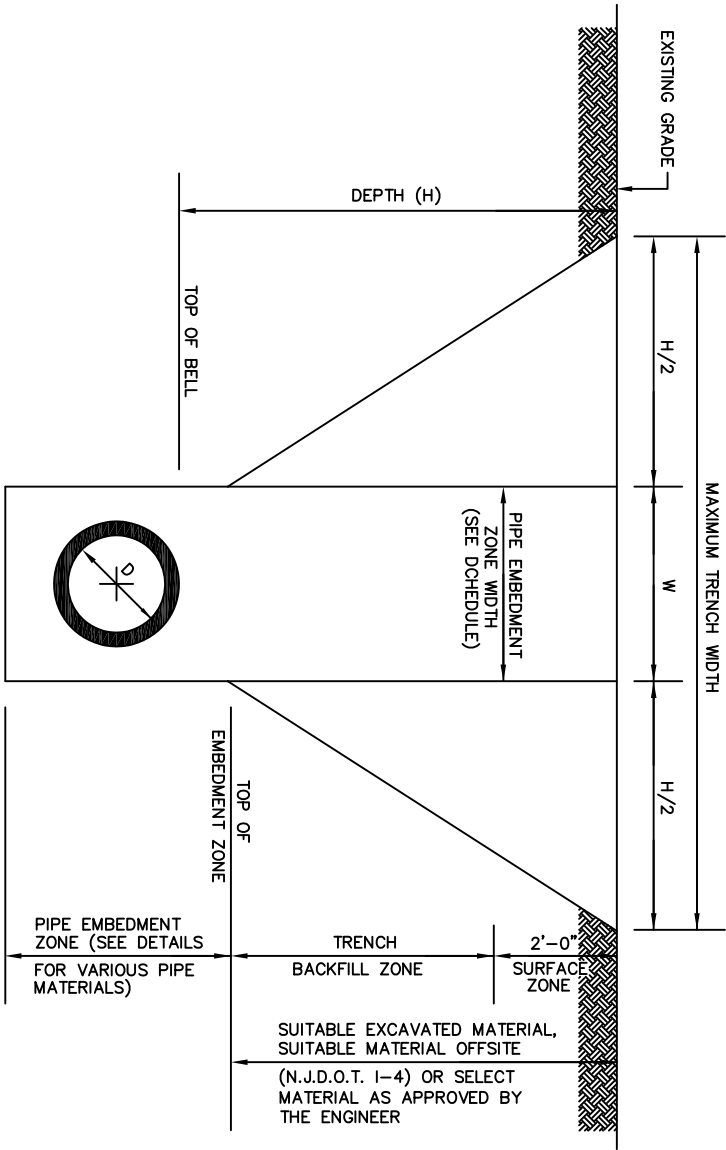
N.T.S.



- NOTES :
1. TOP OF CLEANOUT STACK/PLUG/CAP ASSEMBLY SHALL BE RECESSED 1/4" BELOW FINISHED GRADE
 2. ADAPTORS FOR TRANSITION BETWEEN DIFFERENT PIPE MATERIALS SHALL BE PROVIDED AT ALL TRANSITIONS
 3. ALL CONCRETE SHALL HAVE THE MINIMUM ULTIMATE COMPRESSION STRENGTH AS INDICATED WITHIN 28 DAYS.
 4. BEDDING BENEATH BASE OF DEEP CONNECTIONS SHALL BE EQUAL TO THAT PROVIDED FOR THE REMAINDER OF THE SEWER MAIN.
 5. ADAPTORS AS REQUIRED SHALL BE SDR 35 AND/OR HOPE
 6. ACCEPTABLE ADAPTORS ARE:
 - * PLASTIC TRANS NO. 6877
 - * HARCO CLASS 150 PVC FITTING
 - * HARGO C-900 COUPLING WITH 3250 TRANSITION FITTING
 7. ALL CLEANOUTS SHALL BE PROVIDED WITH A 18"x18"x12" DEEP CAST IN PLACE CLEANOUT BOX
 8. CLEANOUTS SHALL BE PROVIDED AT ALL BENS, BUILDING LINE, 100' IN LENGTH, AND AT 50' INTERVALS ON RIGID DRAINAGE

STORM /SANITARY CLEANOUT ASSEMBLIES

N.T.S.



PIPE EMBEDMENT ZONE WIDTH SCHEDULE FOR PIPE MATERIAL OTHER THAN PVC

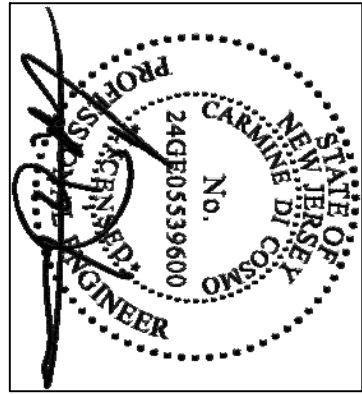
INSIDE DIA. OF PIPE (D)	4", 6"	8", 10", 12"	14", 15", 16"	18"	20", 21"	24"	27"	30"
EMBEDMENT ZONE WIDTH (W)	3'- 6"	3'- 9"	4'- 0"	4'- 3"	4'- 6"	5'- 0"	5'- 3"	

PIPE EMBEDMENT ZONE WIDTH SCHEDULE FOR PVC

INSIDE DIA. OF PIPE (D)	4", 6"	8", 10", 12"	15"	18"	21"	24"	27"
EMBEDMENT ZONE WIDTH (W)	3'- 0"	3'- 6"	3'- 6"	4'- 0"	4'- 0"	4'- 6"	4'- 6"

TRENCH EXCAVATION AND BACKFILL NOTES

1. THE MAXIMUM DRY DENSITIES SHALL BE DETERMINED IN ACCORDANCE WITH ASTM DESIGNATION D1557. THE MINIMUM PERCENTAGE OF COMPACTION TO BE ACHIEVED BY THE CONTRACTOR IN THE VARIOUS ZONES IS AS FOLLOWS:
- | SURFACE ZONE | PIPE MATERIAL | LOCATION | MINIMUM COMPACTION |
|--|---------------|----------|--------------------|
| TRENCH BACKFILL ZONE | ALL | ALL | 95% |
| THE MINIMUM COMPACTION IN EMBANKMENTS SHALL BE 90% | | | |
| THE PIPE EMBEDMENT ZONE WIDTH AND THE MAXIMUM TRENCH WIDTH SHALL NOT EXCEED THE PERMISSIBLE WIDTHS SHOWN. IF THE PERMISSIBLE WIDTH IS EXCEEDED, THE PIPE SHALL BE INSTALLED IN A HIGHER CLASS BEDDING THAN SHOWN ON THIS DRAWING OR THE SPECIFIED SUITABLE CONDITIONS. | | | |
3. SUITABLE MATERIAL FROM EXCAVATION SHALL BE FREE FROM OBJECTIONABLE QUANTITIES OF ORGANIC MATTER, CLAY, TREES, STUMPS, FROZEN MATERIAL, RUBBLE, CONCRETE, ROCKS, AND OTHER MATERIALS CONSIDERED DELETERIOUS BY THE ENGINEER AND SHALL NOT HAVE FINES IN EXCESS OF 10 PERCENT PASSING THE NO. 200 SIEVE NOR STONE OR GRAVEL LARGER THAN 2 INCHES.



CIVIL ENGINEER

CARLINE DI. CORNO, P.E.
PROFESSIONAL ENGINEER, N.J. Lic. No. 24605539600

PROJECT No.	0457
DRAWN BY	CD
SCALE	FIELD BOOK

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PROJECT:
JULIETTE
CUSTOM HOMES

AMENDED SITE PLAN
2022-15
54, 56, & 58 OAK ST.
KEANSBURG, NJ 07734
BLOCK 64
LOT 4.02, 4.03, 4.04

SUBMISSION DATES:	5/10/2022
INITIAL SUBMISSION	5/10/2022
ENGINEERING REVIEW LETTER	8/4/22
PLANNING BOARD COMMENTS	10/17/22
FREEBOARD SOLIS SUBMISSION	11/21/2022
RESOLUTION COMPLIANCE DRAWINGS	10/26/2023
12-19-23 1&M LETTER REVISIONS	1/2/2024
FRONT DECK REVISION	2/1/2024

CONSTRUCTION DETAILS

COMMISSION NUMBER:

DRAWING NUMBER:

SHEET 5 OF 5

TOPSOIL SCHEDULE

- [illegible]

ACTIVITY

1. REMOVE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
2. CLEAR, DEMOLISH EXISTING IMPROVEMENTS, AND STRIP TOPSOIL IN AREAS OF PROPOSED SITE IMPROVEMENTS.
3. INSTALL TIMBER PILE FOUNDATION
4. ROUGH IN SUBTERRANEAN UTILITIES AND POUR CONCRETE SLAB FOR GARAGE FLOOR
5. FRAME PROPOSED DWELING
6. SHEATH AND INSTALL FINAL ROOF MATERIAL
7. ROUGH IN INTERIOR UTILITIES
8. CONSTRUCT BALANCE OF SITE IMPROVEMENTS.
9. SUBSTANTIAL COMPLETION OF PROPOSED BUILDING.
10. REMOVE ALL ACCUMULATED SEDIMENT FROM STORM SEWER SYSTEM
11. CONSTRUCT FINAL PAVING
12. ESTABLISH FINAL VEGETATIVE COVER.





IVITY

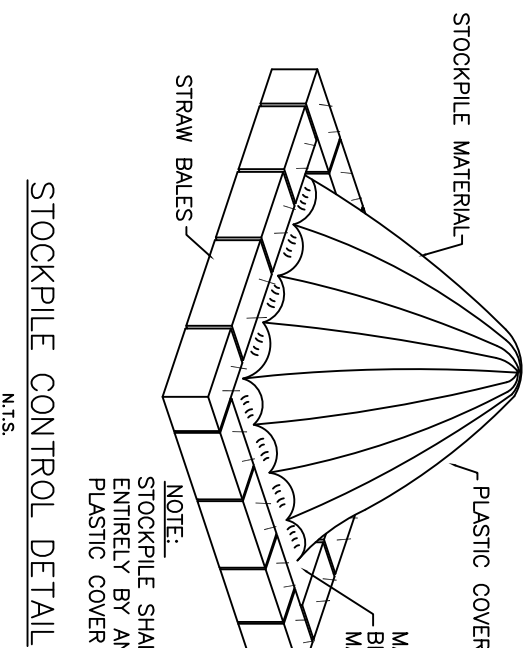
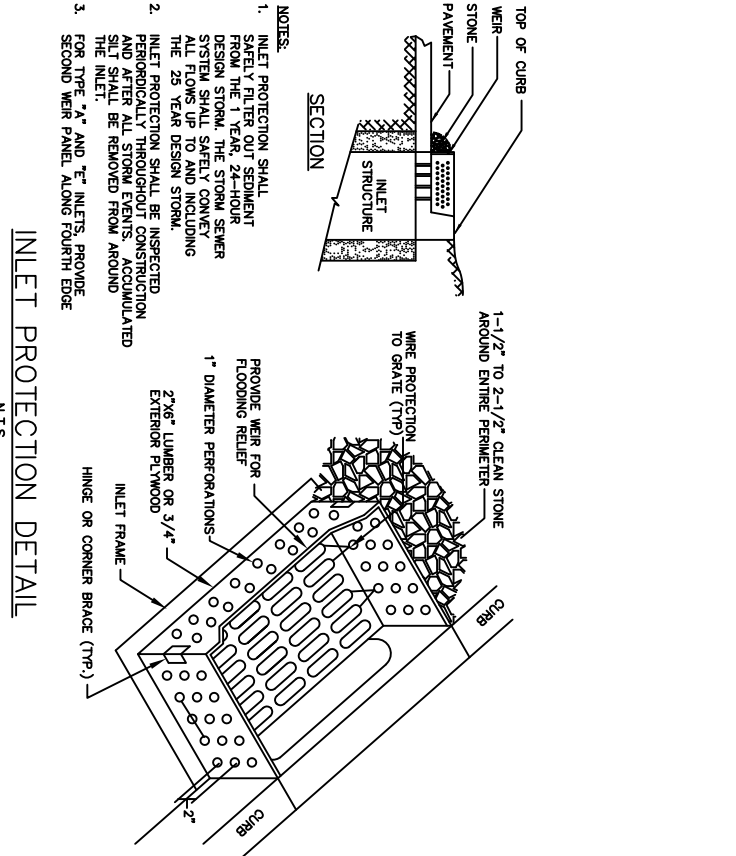
1. APPLY TOPSOIL.
2. TOPSOIL SHALL BE HANDED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE.
3. TOPSOIL SHALL BE APPLIED AT A MINIMUM DEPTH AS INDICATED ON THE PLANS. A MINIMUM TOPSOIL APPLICATION DEPTH OF 5 INCHES SHALL BE USED IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING SOILS WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE IN ACCORDANCE WITH THE NEW JERSEY SOIL EROSION AND SEDIMENT CONTROL STANDARD FOR MANAGEMENT OF HIGH-CHLORIDE SODIUM SOILS.
4. THE CONTRACTOR IS RESPONSIBLE TO TEST ALL SOILS ON SITE PRIOR TO APPLICATION OF TOPSOIL, DEPENDING ON THE SITE CONDITIONS AND TO PROVIDE A REPORT OF THE TEST RESULTS TO THE OWNER. THE TEST RESULTS AND THE SOURCE OF THE TOPSOIL MUST HAVE TO BE PROVIDED WITH AN OTHER SOURCE.

SEEDING SCHEDULE

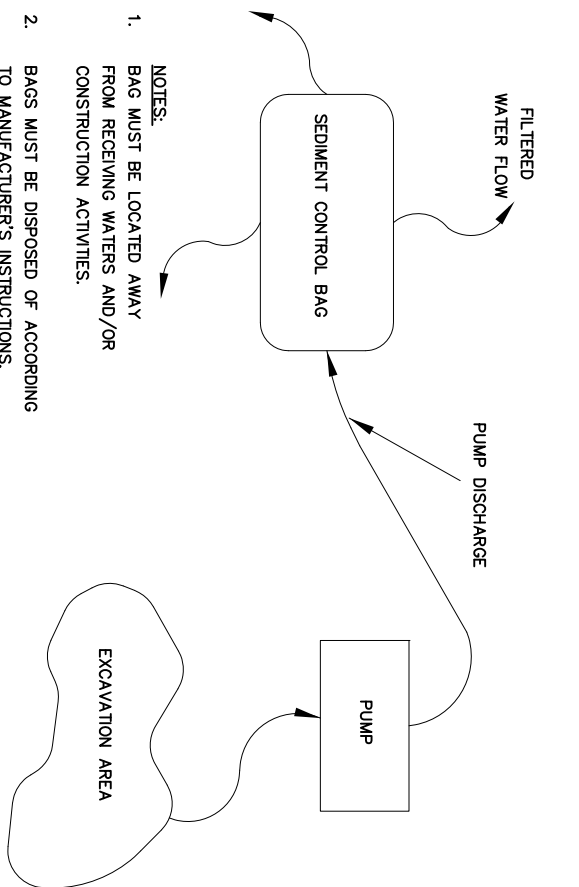
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INLET PROTECTION

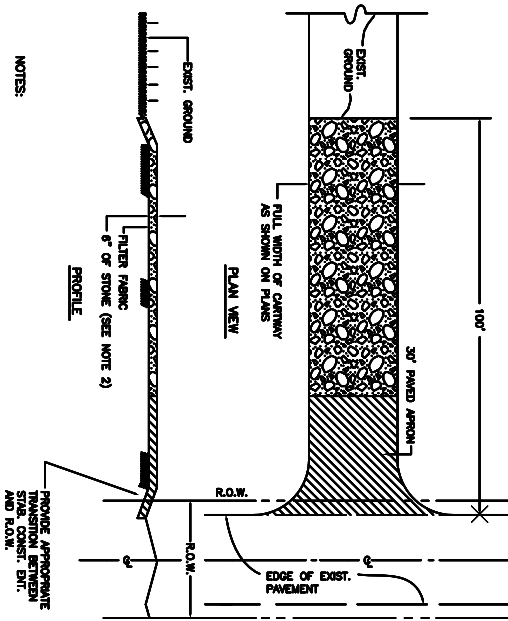
- | | |
|---|-------------------------------------|
|  | INLET PROTECTION |
|  | CONSTRUCTION FENCING |
|  | STABILIZED CONSTRUCTION
ENTRANCE |
|  | LIMIT OF DISTURBANCE AND SILT FENCE |



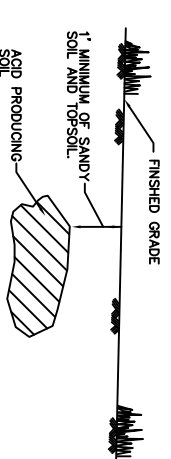
STOCKPILE CONTROL DETAIL



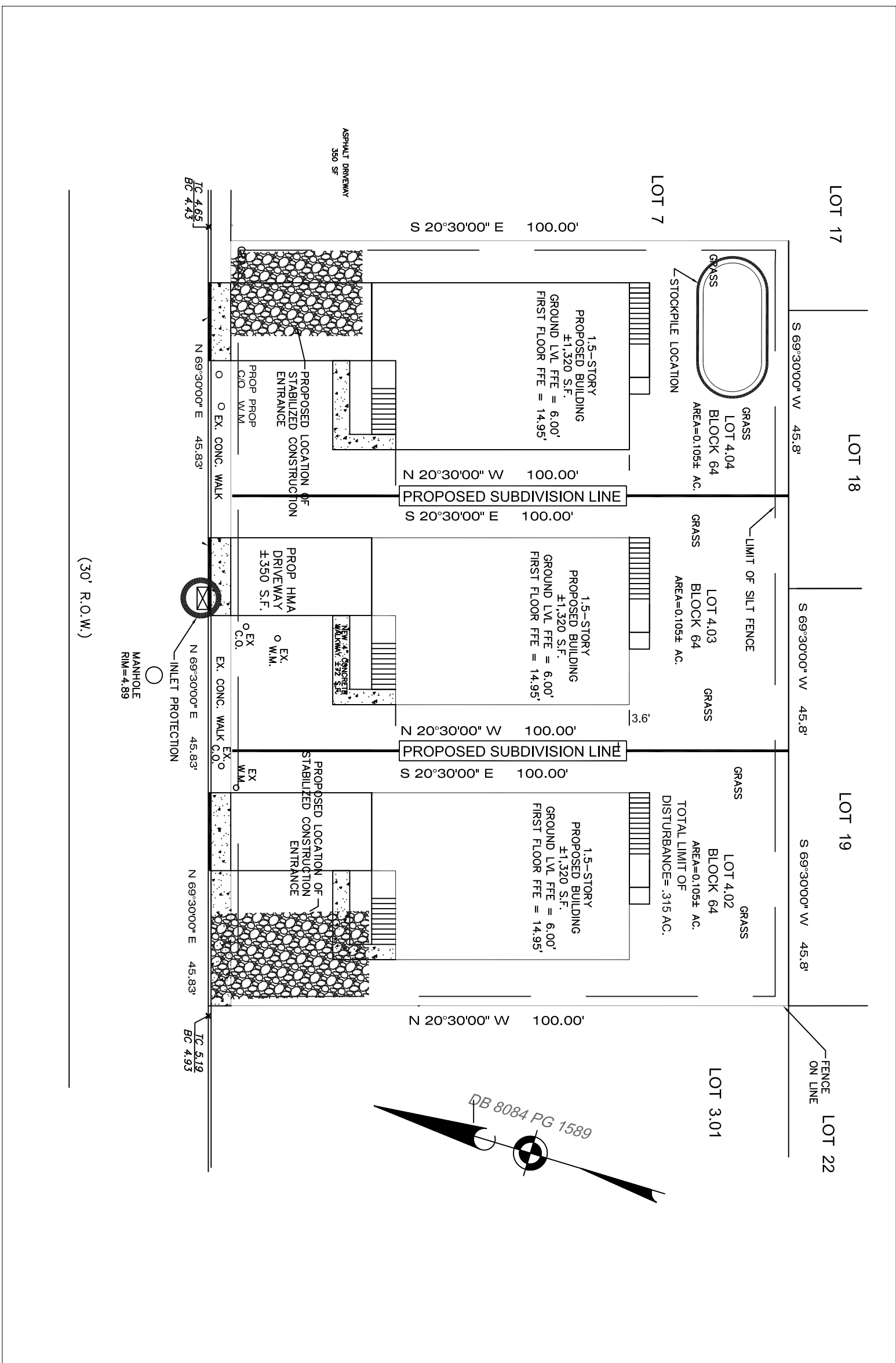
SEDIMENT CONTROL BAG FOR WATER
PUMPED FROM EXCAVATIONS



BURIAL OF ACID PRODUCING SOILS



THIS PLAN SHALL BE USED
FOR SOIL EROSION AND
SEDIMENT CONTROL PURPOSES



SITE PLAN APPLICATION APPROVED

JULIE
CUSTOM HOMES

ADJUSTMENT ON 11/14/2022

PROPOSED MINOR
SUBDIVISION
54-58 OAK ST.
EANSBURG, NJ 07
50010106 COMPLIANCE TDR
10/

10/26/2023

SUBMISSION DATES:

INITIAL SUBMISSION 5/10/20

REVISIONS:

10/17/22

11/21/2022

10/26/2022

DRAWN BY-

DRAWING TITLE:

SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS

COMMISSION NUMBER

DRAWING NUMBER:

SHEET 6 OF 6