

Erica Edwards, Esq. Law Offices LLC

47 East Main Street, Building 2
Post Office Box 252
Flemington, New Jersey 08822

Phone: 908 782-2700 **Mobile Phone:** 908 244-8288 **Fax:** 908 782-2786
erica@edwardslawofficesllc.com

October 27, 2023

VIA UPS GROUND DELIVERY AND E-MAIL: desiree.hynes@keansburg-nj.us

Desiree Hynes, Planning Board Secretary
Borough of Keansburg Planning Board
Keansburg Municipal Building
29 Church Street
Keansburg, New Jersey 07734

**Re: Application of MOVOLAB LLC to the Planning Board
0 Woodland Avenue (Block 27, Lot 16), Keansburg, New Jersey**

Dear Ms. Hynes:

On behalf of the above-referenced applicant to the Planning Board, enclosed please find for submission to the Board two (2) originals and nineteen (19) copies of the Development Application and twenty-one (21) copies of the following additional materials:

- Survey prepared by Ronald L. Trinidad, L.P.L.S. of R & T Land Surveying (signed, sealed);
- Architectural plans prepared by Scott Nicholl, AIA of Tekton Architecture Studio LLC, consisting of one page (signed, sealed).

Also enclosed are the following items:

- Recorded Deed into the Applicant, dated December 7, 2022;
- Confirmation that property taxes on the subject property are current, dated October 17, 2023;
- A copy of the letter from Tax Assessor Office dated June 26, 2023, regarding a certified list of owners of real property located within two hundred (200) feet of the subject property.
- Two (2) checks made payable to the Borough of Keansburg, for application and

escrow fees in the amount of Seventy-Five Dollars (\$75.00) and Two Thousand Dollars (\$2,000.00) respectively;

- A copy of the Applicant's W-9; and
- An electronic copy of the full applicant submission.

Thank you for your kind attention to these materials. Please contact me directly with any questions.

Very truly yours,

Erica Edwards

Erica Edwards, Esq.

EE/pa

cc: MOVOLAB LLC (via electronic mail only)

Site Plan Application – Planning Board of Adjustment

Must be submitted ten (10) days prior to Planning Board meeting

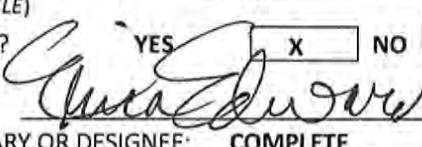
Name: Movo LAB, LLC Case# _____
 Address: 155 Water Street, Brooklyn, New York 11201 Date: October 26, 2023
 Phone #: c/o Erica Edwards, Esq. Law Offices LLC (908) 782-2700 Cell # (908) 244-8288

Application: (2 original copies notarized, pg. 3 - 21 total sets)	<u>21</u>	# submitted
Each Application (21 sets) must include a Copy of the Zoning Denial Letter (if you received a denial)	<u>N/A</u>	# submitted
Proof of Service (2 copies notarized, pg. 5 - include w/above)	<u>To Be Provided</u>	# submitted
Copy of Notice to Adjoining Property Owners, pg. 4 - include w/above	<u>To Be Provided</u>	# submitted
Certified list of Property Owners (include with originals) <i>Available from the Tax Assessor, includes total properties & Utilities</i>	<u>2</u>	# submitted
A Certification of taxes being paid (include w/total sets) This certification is available from the Tax Collector	<u>21</u>	# submitted
A Copy of a Survey (less than 3 years old - 21 total sets)	<u>21</u>	# submitted
Architectural Plans (include w/packet - 21 total sets)	<u>21</u>	# submitted
Plot Plans (include w/packet - 21 total sets) Note: plot plans # submitted to include all setbacks, sidelines, both existing and proposed as well as all accessories (Sheds, Pools, Decks, Fencing, Driveways, Garages, etc.).	<u>21</u>	# submitted
Affidavit of Publication (Star Ledger 973-392-4104 Asbury Park Press 732-643-3661) <i>Must be submitted ten (10) days prior to Planning Board meeting</i>	<u>To Be Provided</u>	# submitted
Certification Mail Return Receipts (PS Form 3800, June 2002)	<u>To Be Provided</u>	# submitted

Application Fees – as per Fee Schedule worksheet

CHECK NON-REFUNDABLE FEES CHECK # 1010 AMOUNT \$ 75.00
 CHECK ESCROW CHECK # 1011 AMOUNT \$ 2,000.00
 (UNUSED FEES ARE REFUNDABLE)

IS APPLICATION COMPLETE? YES NO DATE _____

APPLICANT'S SIGNATURE:  ATTORNEY FOR APPLICANT/OWNER
 PLANNING BOARD SECRETARY OR DESIGNEE: COMPLETE
 DATE _____ INCOMPLETE _____

CASE # _____

FEE (PAID): \$ _____ DATE (OF ACTION): _____

THIS SECTION ABOVE IS FOR PLANNING BOARD USE ONLY

Keansburg Planning Board of Adjustment - Statement & Variance Sheets - pgs. 2 & 3

1. I (we), Movo LAB, LLC, The Applicant(s) Herein, whose Address is, 155 Water Street, Brooklyn, New York 11201, am the Owner(s) int: _____

Prospective Purchaser(s) [] int: _____ of property located on, 0 Woodland Avenue and designated as _____

Block: 27 and Lot 16 on the Official Keansburg Tax Map.

2. Said property is in a R-5A ZONE, and is 2,500 +/- sq. ft(Size) and has the following

Structures on the property: Vacant

3. Request is Hereby made for permission To: (Indicate type(s) of structure(s) and use thereof:

Construct a single family home.

4. The proposed structure or use is contrary to the Zoning/Development regulations of Keansburg. Yes

5. The following is contrary to the Development Ordinance: list & detail all Variances to be sought.

The following variances are requested from the requirements of Ordinance Section 22-5.1a2 and the

accompanying schedule: Side yard setbacks of 3.6ft (one side) and 9.6ft. (both sides) where 7.5 ft and 15-ft.

are required rear yard setback of 11 ft where 25ft is required.

Details and Variances can be obtained/rom the Zoning Denial Letter which must be included in packet

6. Is the entire tract of land, Block. 27 Lot: 16 intended to be used? YES [] NO

7. Has the property been separated from an adjoining parcel? [] YES NO, if so when N/A

If YES, has The Planning Board approved the subdivision, N/A Date: _____

Statement & Variance Sheet - Continued:

8. Has there been any previous appeal involving this parcel/premises? [] YES NO int: _____

If so, state date of filing: N/A List all the details and results of the Appeal.

9. By filing this application does the applicant (s) waive any and all rights gained previously N/A

10. Are there any open construction permits, permit fees, code violations, or court case that may with due cause prevent the Planning Board from hearing this application? [] YES NO

If Yes, List details: N/A

11. Attached hereto and made part thereof are all of the required 21 sets (packets) as detailed within the Checklist page (pg.1), including 21 sets of drawings, DRA WN TO SCALE, and containing all of the necessary measurements (setbacks, elevations, lot & structure square footage), and all structures and accessories (decks, garages, sheds, pools, fences, driveways, sidewalks, walks, patios, etc.) that are installed or within the confines of said property and are part and parcel of this application.

12. Check or Money Order for the Escrow (refundable balance) amount listed \$ 2,000.00

I (we), the undersigned, being duly sworn according to law upon my oath do depose and state that all of the statements contained herein are based on my own knowledge and are true and correct.

Signed: [Signature] ATTORNEY FOR APPLICANT Date: October 26, 2023

* If the applicant is NOT the owner of the property herein, the owner must sign the following consent OWNER

* The foregoing application is hereby consented this _____ Day of _____ 20____

Owner's Signature: APPLICANT IS OWNER Date: _____

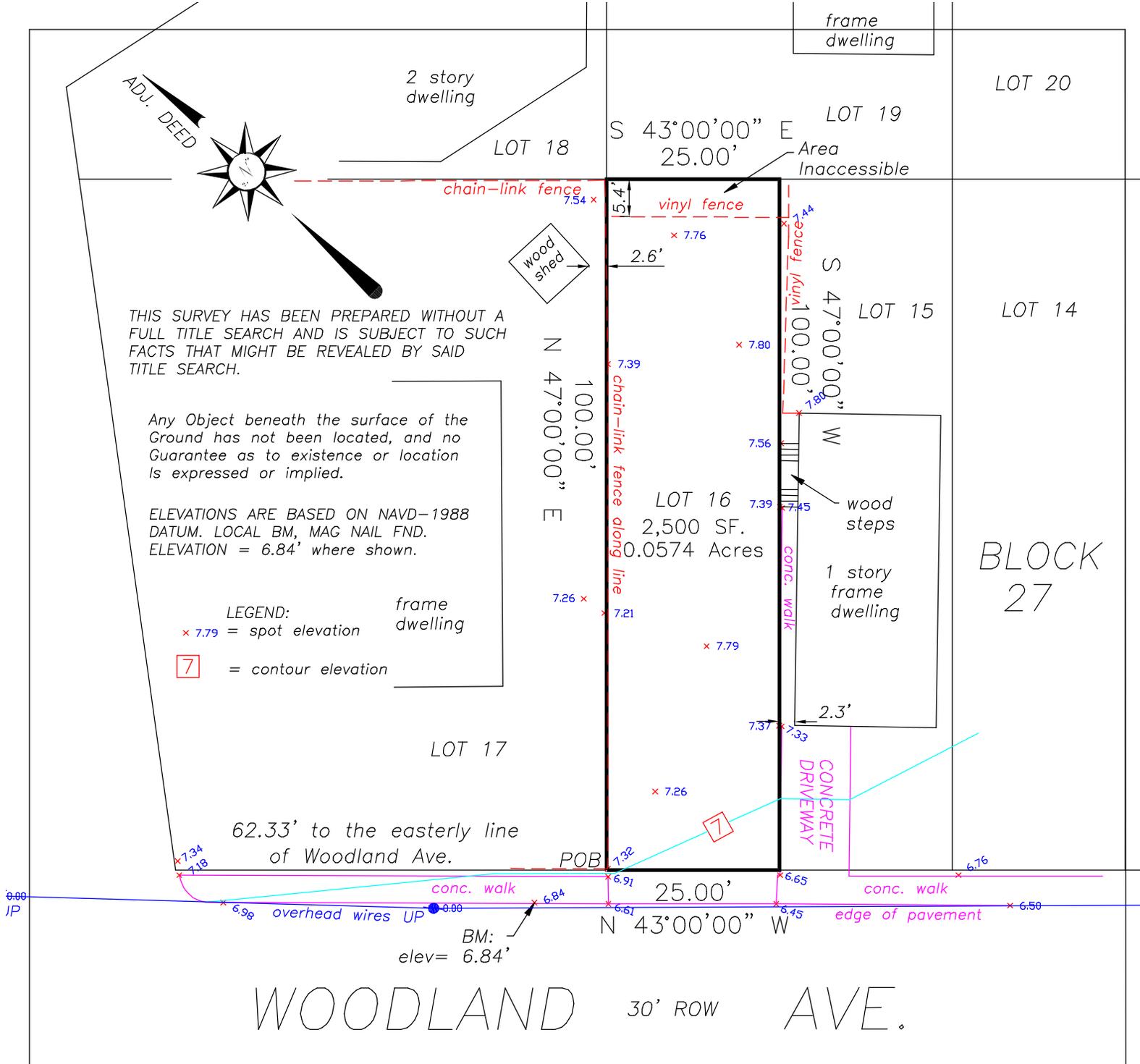
Sworn to and subscribed before me on this _____ Day of (Month) _____, 20____

Notary Signature: _____

Date: _____

Two (2) application packets Must have raised Seal

Seal



THIS SURVEY HAS BEEN PREPARED WITHOUT A FULL TITLE SEARCH AND IS SUBJECT TO SUCH FACTS THAT MIGHT BE REVEALED BY SAID TITLE SEARCH.

Any Object beneath the surface of the Ground has not been located, and no Guarantee as to existence or location is expressed or implied.

ELEVATIONS ARE BASED ON NAVD-1988 DATUM. LOCAL BM, MAG NAIL FND. ELEVATION = 6.84' where shown.

LEGEND:
 × 7.79 = spot elevation
 [7] = contour elevation

LOCATION SURVEY FOR:
 MOVO LAB LLC

Being Lot 16 Block 27, as shown on the tax assessment map for the borough of Keansburg, Monmouth County, N.J. Also known as Lot 37 Block F, as shown on a map entitled, "Granville Park, Keansburg N.J." Filed 4-10-1907, Map 36-13. More commonly known as 0 Woodland Ave. Keansburg N.J.

I hereby certify to the above mentioned owners, Movo Lab, LLC.

This survey has been accurately prepared with the best of my information, knowledge and belief. No apparent encroachments exist either way across property lines except as shown hereon.

R & T LAND SURVEYING
 LAND SURVEYING * CONSTRUCTION LAYOUT * MAPPING
 942 STATE HIGHWAY ROUTE 36, LEONARDO, NJ

RONALD L. TRINIDAD
 LICENSED PROFESSIONAL LAND SURVEYOR
 NJ LICENSE No. 24GS04337000

JOB: 8325
 SCALE: 1" = 20'
 CAD: M-8325.dwg

DATE: 9-18-22
 DWG: A-1760



Monmouth County Document Summary Sheet

MONMOUTH COUNTY CLERK PO BOX 1251 MARKET YARD FREEHOLD NJ 07728	Transaction Identification Number	6445658	7830906
	Recorded Document to be Returned by Submitter to: SUNRISE TITLE SERVICES INC 319 WATER STREET BELVIDERE, NJ 07823		

Official Use Only

CHRISTINE GIORDANO HANLON
 COUNTY CLERK
 MONMOUTH COUNTY, NJ

INSTRUMENT NUMBER
 2022117098
 RECORDED ON
 Dec 07, 2022
 9:15:36 AM
 BOOK:OR-9626 PAGE:7639
 Total Pages: 7

REALTY TRANSFER FEES \$280.00
 COUNTY RECORDING FEES \$80.00
 TOTAL PAID \$360.00

Submission Date (mm/dd/yyyy)		12/06/2022
No. of Pages (excluding Summary Sheet)		5
Recording Fee (excluding transfer tax)		\$80.00
Realty Transfer Tax		\$280.00
Total Amount		\$360.00
Document Type	DEED/NO EXEMPTION FROM REALTY TRANSFER FEE	
Electronic Recordation Level	L2 - Level 2 (With Images)	
Municipal Codes		
KEANSBURG		2301
1391542		

Additional Information (Official Use Only)

* DO NOT REMOVE THIS PAGE.
 COVER SHEET [DOCUMENT SUMMARY FORM] IS PART OF MONMOUTH COUNTY FILING RECORD.
 RETAIN THIS PAGE FOR FUTURE REFERENCE.



Monmouth County Document Summary Sheet

DEED/NO EXEMPTION FROM REALTY TRANSFER FEE	Type		DEED/NO EXEMPTION FROM REALTY TRANSFER FEE			
	Consideration		\$70,000.00			
	Submitted By		SUNRISE TITLE SERVICES INC (CSC/INGEO SYSTEMS INC)			
	Document Date		10/19/2022			
	Reference Info					
	Book ID	Book	Beginning Page	Instrument No.	Recorded/File Date	
	GRANTOR		Name		Address	
			RICHARD JAMES RIVERA			
			TONI A BARNDT			
	GRANTEE		Name		Address	
			MOVOLAB LLC			
	Parcel Info					
	Property Type	Tax Dist.	Block	Lot	Qualifier	Municipality
	23	27	16		2301	

Not Certified Copy

*** DO NOT REMOVE THIS PAGE.
COVER SHEET [DOCUMENT SUMMARY FORM] IS PART OF MONMOUTH COUNTY FILING RECORD.
RETAIN THIS PAGE FOR FUTURE REFERENCE.**

FN11439

Prepared by: 
Michael D. Pugliese, Esq.

DEED

This Deed is made on October 19th, 2022.

BETWEEN

Richard James Rivera, single, and Toni A. Barndt, married, whose address is 12 Morningside Place, Middletown, NJ 07748, referred to as the GRANTOR;

AND

Movolab, LLC, whose address is 155 Water Street, Brooklyn, NY 11201, referred to as the GRANTEE.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

TRANSFER OF OWNERSHIP. The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of \$70,000.00 (Seventy Thousand Dollars and no cents). The Grantor acknowledges receipt of this money.

TAX MAP REFERENCE. (N.J.S.A. 46:15-2.1) Borough of Keansburg, Block No. 27, Lot No. 16 Account No.

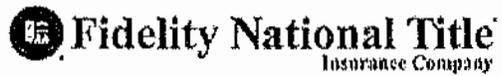
PROPERTY. The property consists of the land and all the buildings and structures on the land in the Borough of Keansburg, County of Monmouth and the State of New Jersey. The Legal Description is

Please see the attached Legal Description annexed hereto and made a part hereof as Exhibit A.

BEING the same premises conveyed to Grantor by Quitclaim Deed from Toni A. Barndt dated October 17th, 2018 and recorded on October 19th, 2018 in the Monmouth County Clerk/Register's Office in OR Book 9317, Page 3226

Being the same land conveyed to Toni A. Barndt by Deed from John Moekler, dated September 22nd, 2014, recorded September 23rd, 2014 in the Monmouth County Clerk/Register's Office in Deed Book OR-9082, page 1921.

Said premises are commonly known as 0 Woodland Avenue, Keansburg, County of Monmouth, State of New Jersey, 07734.



**SCHEDULE A-5
LEGAL DESCRIPTION**

Issuing Office File No. FN11439

ALL that certain lot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough of Keansburg, in the County of Monmouth, State of New Jersey:

BEING known as Woodland Avenue, Tax Lot 16, Tax Block 27 on the Official Tax Map of Borough of Keansburg, NJ.

SUBJECT to a survey of the premises.

GIT/REP-3
(2-21)
(Print or Type)

**State of New Jersey
Seller's Residency Certification/Exemption**

Seller's Information

Name(s)
Toni A. Barndt

Current Street Address
12 Morningside Place

City, Town, Post Office
Middletown

State
NJ

ZIP Code
07758

Property Information

Block(s)
27

Lot(s)
16

Qualifier

Street Address
0 Woodland Avenue

City, Town, Post Office
Keansburg

State
NJ

ZIP Code
07734

Seller's Percentage of Ownership 30%	Total Consideration \$70,000.00	Owner's Share of Consideration \$21,000.00	Closing Date 10/21/2022
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Seller's Assurances (Check the Appropriate Box) (Boxes 2 through 16 apply to Residents and Nonresidents)

1. Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident Gross Income Tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. Seller is not an individual, estate, or trust and is not required to make an estimated Gross Income Tax payment.
6. The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated Income Tax payment.
7. The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey Income Tax return for the year of the sale and report the recognized gain.
 Seller did not receive non-like kind property.
8. The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. The deed is dated prior to August 1, 2004, and was not previously recorded.
11. The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. The property transferred is a cemetery plot.
14. The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.
15. The seller is a retirement trust that received an acknowledgment letter from the Internal Revenue Service that the seller is a retirement trust, and is therefore not required to make the estimated Gross Income Tax payment.
16. The seller (and/or spouse/civil union partner) originally purchased the property while a resident of New Jersey as a member of the U.S. Armed Forces and is now selling the property as a result of being deployed on active duty outside of New Jersey. (Only check this box if applicable and neither boxes 1 nor 2 apply.)

Seller's Declaration

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

10/19/22 _____ Toni A. Barndt
Date Signature (Seller) Indicate if Power of Attorney or Attorney in Fact

_____ _____ _____
Date Signature (Seller) Indicate if Power of Attorney or Attorney in Fact

GIT/REP-3
(2-21)
(Print or Type)

State of New Jersey Seller's Residency Certification/Exemption

Seller's Information

Name(s)
Richard James Rivera

Current Street Address
34 Shore Blvd.

City, Town, Post Office
Keansburg

State
NJ

ZIP Code
07734

Property Information

Block(s)
27

Lot(s)
16

Qualifier

Street Address
0 Woodland Avenue

City, Town, Post Office
Keansburg

State
NJ

ZIP Code
07734

Seller's Percentage of Ownership 70%	Total Consideration \$70,000.00	Owner's Share of Consideration \$49,000.00	Closing Date 10/21/2022
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Seller's Assurances (Check the Appropriate Box) (Boxes 2 through 16 apply to Residents and Nonresidents)

1. Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident Gross Income Tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. Seller is not an individual, estate, or trust and is not required to make an estimated Gross Income Tax payment.
6. The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated Income Tax payment.
7. The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey Income Tax return for the year of the sale and report the recognized gain.
8. Seller did not receive non-like kind property.
9. The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
10. The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
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17. The seller (and/or spouse/civil union partner) originally purchased the property while a resident of New Jersey as a member of the U.S. Armed Forces and is now selling the property as a result of being deployed on active duty outside of New Jersey. (Only check this box if applicable and neither boxes 1 nor 2 apply.)

Seller's Declaration

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

10/19/22  Richard James Rivera

Date Signature (Seller) Indicate if Power of Attorney or Attorney in Fact

Date Signature (Seller) Indicate if Power of Attorney or Attorney in Fact



BOROUGH OF KEANSBURG

OFFICE OF THE TAX COLLECTOR

Date: October 17, 2023

RE: **Property Tax Status**

Block 27 Lot 16

Address: Woodland Avenue

To Whom It May Concern:

Please be advised that the above-referenced property is **CURRENT** with property taxes due to the Borough of Keansburg.

Very truly yours,

Thomas P. Cusick
Tax Collector



BOROUGH OF KEANSBURG
MUNICIPAL OFFICES

OFFICE OF THE TAX ASSESSOR

Date: November 16, 2023

In compliance with Municipal Land Use Law, New Jersey Statutes Annotated 40A:55D-12, the attached list is certified to be a list of those property owners within 200 feet of the following:

Block 27 Lot 16 Qualifier NA

These Companies must be notified in addition to the Property Owners:

NJ Natural Gas Company
1415 Wyckoff Road
Wall, New Jersey 07719

Cablevision Raritan Valley
275 Centennial Avenue CN 6805
Piscataway, NJ 08855
Attn.: Construction Department

Jersey Central Power & Light
One River Centre
331 Newman Springs Road, Bldg. 3
Red Bank, NJ 07701

Keansburg Water & Sewer
29 Church Street
Keansburg, NJ 07734

Keansburg Board of Fire Commissioners
29 Church Street
Keansburg, NJ 07734

Verizon
540 Broad Street
Newark, NJ 07102

If property is located on a County Road:

Monmouth County Planning Board
Hall of Records Annex
Freehold, NJ 07728

IF PROPERTY IS LOCATED NEAR A SURROUNDING TOWN PLEASE CHECK WITH THEM FOR OWNER INFORMATION.

Gerald Briscione, CTA
Tax Assessor

29 Church Street • Keansburg, New Jersey 07734
Phone: 732-787-0215 • Fax: 732-787-0787

200 Foot List Block 27 Lot 16

Block/Lot	Owner	Mailing Address	
1323-24-7	PONQUINETTE JUSTIN C & MARIA M	45 NICKLAOS LANE	FARMINGDALE NJ 07727
1323-24-9	HENRIQUES LUIS MAGNO & ADRIANA DEM	43B HILLCREST AVENUE	CRANFORD NJ 07016
1323-27-16	MOVOLAB LLC C/O V.PAIVILEVSKI	155 WATER STREET	BROOKLYN NY 11201
1323-27-18	AFFORDABLE FOR ALL LLC	504 HOOPER AVE	TOMS RIVER NJ 08753
1323-28-15	TISHLER GARY M & C.SUSAN	PO BOX 587	NAVESINK NJ 07752
1323-28-4	HARTNEY MICHAEL & JANET	21 JOHNSON LANE	KEANSBURG N.J. 07734
1323-28-12	TISHLER GARY M. & C.SUSAN	PO BOX 587	NAVESINK NJ 07752
1323-28-13	TISHLER GARY & SUSAN	PO BOX 587	NAVESINK NJ 07752
1323-28-14	TISHLER GARY & SUSAN	PO BOX 587	NAVESINK NJ 07752
1323-27-21	O DWYER HOLDINGS LLC	79 WASHINGTON STREET	KEYPORT NJ 07735
1323-28-16	SOKOL ELLIOT	2 WOODLAND AVE	KEANSBURG NJ 07734
1323-28-17	QUINONES JULIO C & CARMEN	4 WOODLAND AVENUE	KEANSBURG NJ 07734
1323-28-19	RADKOV SERGUEI	39 AZIMUTH CT	HOLMDEL NJ 07733
1323-28-20	SCHWARTZ EUGENE & BARBARA	1594 CRIMSON RD	TOMS RIVER NJ 08755
1323-28-21	WICHOWSKI ROBERT A. & MARIANNE C.	15 PHILLIPS MILL DRIVE	MIDDLETOWN NJ 07748
1323-28-22	VERGHESE BIJOY&DESAI MEHUL & TANVI	14 WOODLAND AVE	KEANSBURG NJ 07734
1323-28-23	WALL KEVIN WALTER	18 WOODLAND AVENUE	KEANSBURG NJ 07734
1323-28-24	22 WOODLAND INVESTMENTS LLC	1204 AVENUE U STE 1183	BROOKLYN NY 11229
1323-28-25	BALDWIN DIANA J	24 WOODLAND AVE	KEANSBURG NJ 07734
1323-27-17	AGUIAR WILFRED E & DMITRZAK ANDREA	3 WOODLAND AVE	KEANSBURG NJ 07734
1323-27-23	O DWYER HOLDINGS LLC	79 WASHINGTON STREET	KEYPORT NJ 07735
1323-27-24	KEYS ROBIN RENEE	44 SHORE BLVD	KEANSBURG NJ 07734
1323-27-25	SMITH STACY LIN & PROCEL JOSE LUI	129 CENTER AVENUE	ATLANTIC HIGHLANDS NJ 07716
1323-28-1	MCKENNA MARGARET M	31 JOHNSON LANE	KEANSBURG NJ 07734
1323-28-2	WILSON THOMAS & ADELE	25 JOHNSON LANE	KEANSBURG NJ 07734
1323-28-3	HARTNEY MICHAEL & JANET	21 JOHNSON LANE	KEANSBURG NJ 07734
1323-26-1	KATZ ANDREA M.	32 N AVON DR	JACKSON NJ 08527
1323-27-8	BUDGE NANCY	23 WOODLAND AVE	KEANSBURG NJ 07734
1323-27-9	RAMIREZ YOEL	21 WOODLAND AVE	KEANSBURG NJ 07734
1323-27-10	WICHOWSKI ROBERT A & MARIANNE	15 PHILLIPS MILL DRIVE	MIDDLETOWN NJ 07734
1323-27-12	SD OF NJ LLC	611 WILDWOOD RD	ALLENHURST NJ 07711
1323-27-13	REILLY JOHN & ARLETTA WILLIAMS K	270 SEAMAN AVE #A2	NEW YORK NY 10034

1323-27-14	DATO LORI	18 BAYSHORE MOBILE MANOR	HAZLET NJ	07730
1323-27-15	MATYSCZAK BERNARD JR.	903 LEONARDVILLE RD	LEONARDO NJ	07737
1323-24-8	5 NEPTUNE PLACE LLC	158 CONCORD AVE	LEONARDO NJ	07737
1323-24-2	BALABAN KERI	178 MARSHA DR	MIDDLETOWN NJ	07748
1323-24-3	22 BELLEVIEW LLC	177 E BLACKJACK BRANCH WY	ST JOHNS FL	32259
1323-23-10	FOSTER HOWARD & KARINA	16 WATERVIEW PL	KEANSBURG NJ	07734
1323-23-13	SCHWARTZ EUGENE & BARBARA	1594 CRIMSON RD	TOMS RIVER NJ	08755
1323-23-3	FOULKE CHRISTOPHER L	209 BRINLEY AVE	BRADLEY BEACH NJ	07720
1323-23-9	RAHEB BRIAN J	17 WATERVIEW PL.	KEANSBURG NJ	07734
1323-23-1	RIVERA KAREN ANN	21 SHORE BLVD	KEANSBURG NJ	07734
1323-24-1	HOSSAIN ALI	2726 FORD STREET	BROOKLYN NY	11235
1323-23-11	CHANG HELEN	15 WATERVIEW PL.	KEANSBURG NJ	07734
1323-23-12	BELLINI MICHAEL & ADRIENNE	50 MONTCLAIR AVE	NUTLEY NJ	07110
1323-27-11	ZIELENSKI RICHARD & MAUREEN	17 WOODLAND AVE	KEANSBURG NJ	07734
1323-27-19	RIVERA RICHARD J	34 SHORE BOULEVARD	KEANSBURG NJ	07734
1323-27-20	MLF MANAGEMENT LLC	177 E BLACKJACK BRANCH WY	ST JOHNS FL	32259
1323-27-22	IB HOLDINGS MCRI NJ LLC	10 CLARENCE AVE	LONG BRANCH NJ	07740
1323-28-9	FELICIO JOHN & CHRISTOPHER J&SARAH	56 MAIN ST.	KEANSBURG NJ	07734
1323-28-10	SUNSHINE PROPERTIES V LLC	6 GREEN STREET	METUCHEN NJ	08840



1323-27-16
1323-27-16
MOVOLAB LLC D/O V PAMILEVSKI
155 WATER STREET
BROOKLYN NY 11201
Zoning: R3
