

File Name: C:\Sodman Enterprises Inc\085SEI-2401 - 288 Beachway Avenue\CIV\DWG\001 COVER.dwg  
Plot Time: Feb 19, 2025 - 9:05am

PROPERTY OWNERS  
WITHIN 200'

BLOCK 10, LOT 1 PROPERTY OWNERS LIST				
Block/Lot	Owners	Mailing Address	Municipality	Zip Code
1323-9-2	JEREBY-SHOREBEACH & BOARDWALK INC	275 BEACHWAY	KEANSBURG, NJ	07734
1323-10-1	BEACHWAY ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1322-10-2	COMFORT BY THESEA CONDOMINIUMS	BEACHWAY	KEANSBURG, NJ	07734
1323-10-3	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-4	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-5	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-6	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-7	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-8	BEACHWAY ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-9	BEACHWAY ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-184-4	JEREBY-SHOREBEACH & BOARDWALK INC	275 BEACHWAY	KEANSBURG, NJ	07734
1323-11-4	19 CARR URBAN RENOVALL LLC ETAL	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-8-11	KIERMAN GEORGE	24 BAY AVE	KEANSBURG, NJ	07734
1323-11-2	LEFORE RODD & DESBRA	7 HOLLAND ROAD	MIDDLETOWN, NJ	07748
1323-11-3	HABCO REINC	P.O. BOX 2361	RED BANK, NJ	07001
1323-8-10	HERNANDEZ CYNTHIA L	26 BAY AVE	KEANSBURG, NJ	07734
1323-8-12	TROPE CYNTHIA J	33 JACKSON COURT	FORDS, NJ	08863
1323-8-13	SUNSHINE PROPERTIES III LLC	6 GREEN STREET	METUCHEN, NJ	08840

BLOCK 10, LOT 8 PROPERTY OWNERS LIST				
Block/Lot	Owners	Mailing Address	Municipality	Zip Code
1323-8-14	19 HIGHLAND REALTY LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-8-15	75 RAINEX LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-9-2	JEREBY-SHOREBEACH & BOARDWALK INC	275 BEACHWAY	KEANSBURG, NJ	07734
1323-10-1	BEACHWAY ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1322-10-2	COMFORT BY THESEA CONDOMINIUMS	BEACHWAY	KEANSBURG, NJ	07734
1323-10-3	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-4	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-5	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-6	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-7	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-8	BEACHWAY ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-9	BEACHWAY ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-4	19 CARR URBAN RENOVALL LLC ETAL	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-5	19 CARR LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-6	19 CARR URBAN RENOVALL LLC ETAL	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-7	19 CARR URBAN RENOVALL LLC ETAL	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-8	19 CARR URBAN RENOVALL LLC ETAL	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-9	20 CARR URBAN RENOVALL LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-10	J.D. PROPERTY BROTHERS LLC	1009 HARRIS AVENUE	UNION BEACH, NJ	07735
1323-11-11	J.D. PROPERTY BROTHERS LLC	1009 HARRIS AVENUE	UNION BEACH, NJ	07735
1323-11-12	VENTURA ARMANDO	PO BOX 5521	NEWARK, NJ	07105
1323-11-1	J.D. PROPERTY BROTHERS LLC	1009 HARRIS AVENUE	UNION BEACH, NJ	07735
1323-11-2	LEFORE RODD & DESBRA	7 HOLLAND ROAD	MIDDLETOWN, NJ	07748
1323-8-11	KIERMAN GEORGE	24 BAY AVE	KEANSBURG, NJ	07734
1323-8-12	TROPE CYNTHIA J	33 JACKSON COURT	FORDS, NJ	08863
1323-8-16	JOSEPH MICHAEL C & SOTO QARISA	37 SEABREEZE WAY	KEANSBURG, NJ	07734
1323-8-9	KEANSBURG ONELLIC	345 CHAPEL HILL ROAD	ATLANTIC HIGHLANDS, NJ	07716
1323-8-10	HERNANDEZ CYNTHIA L	26 BAY AVE	KEANSBURG, NJ	07734
1323-11-3	HABCO REINC	P.O. BOX 2361	RED BANK, NJ	07001
1323-8-13	SUNSHINE PROPERTIES III LLC	6 GREEN STREET	METUCHEN, NJ	08840

BLOCK 10, LOT 9 PROPERTY OWNERS LIST				
Block/Lot	Owners	Mailing Address	Municipality	Zip Code
1323-184-4	JEREBY-SHOREBEACH & BOARDWALK INC	275 BEACHWAY	KEANSBURG, NJ	07734
1323-8-14	19 HIGHLAND REALTY LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-9-2	JEREBY-SHOREBEACH & BOARDWALK INC	275 BEACHWAY	KEANSBURG, NJ	07734
1323-10-1	BEACHWAY ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1322-10-2	COMFORT BY THESEA CONDOMINIUMS	BEACHWAY	KEANSBURG, NJ	07734
1323-10-3	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-4	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-5	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-6	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-7	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-8	BEACHWAY ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-10-9	BEACHWAY ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-4	19 CARR URBAN RENOVALL LLC ETAL	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-5	19 CARR LLC	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-6	19 CARR URBAN RENOVALL LLC ETAL	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-8	19 CARR URBAN RENOVALL LLC ETAL	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-9	19 CARR URBAN RENOVALL LLC ETAL	513 COOKMAN AVENUE	ASBURY PARK, NJ	07712
1323-11-12	VENTURA ARMANDO	PO BOX 5521	NEWARK, NJ	07105
1323-11-1	J.D. PROPERTY BROTHERS LLC	1009 HARRIS AVENUE	UNION BEACH, NJ	07735
1323-8-11	KIERMAN GEORGE	24 BAY AVE	KEANSBURG, NJ	07734
1323-8-12	TROPE CYNTHIA J	33 JACKSON COURT	FORDS, NJ	08863
1323-8-9	KEANSBURG ONELLIC	345 CHAPEL HILL ROAD	ATLANTIC HIGHLANDS, NJ	07716
1323-8-10	HERNANDEZ CYNTHIA L	26 BAY AVE	KEANSBURG, NJ	07734
1323-11-3	HABCO REINC	P.O. BOX 2361	RED BANK, NJ	07001
1323-8-13	SUNSHINE PROPERTIES III LLC	6 GREEN STREET	METUCHEN, NJ	08840

UTILITY CONTACTS

NJ NATURAL GAS COMPANY  
1415 WYCKOFF ROAD  
WALL, NEW JERSEY, 07719

CABLEVISION RARITAN VALLEY  
275 CENTENAL AVENUE CN 6805  
PISCATAWAY, NJ 08855  
ATTN.: CONSTRUCTION DEPARTMENT

JERSEY CENTRAL POWER & LIGHT  
ONE RIVER CENTRE  
331 NEWMAN SPRINGS ROAD, BLDG. 3  
RED BANK, NJ, 07701

KEANSBURG WATER & SEWER  
291 CHURCH STREET  
KEANSBURG, NJ, 07734

KEANSBURG BOARD OF FIRE COMMISSIONERS  
29 CHURCH STREET  
KEANSBURG, NJ, 07734

VERIZON  
540 BROAD STREET  
NEWARK, NJ, 07102

SHEET INDEX

No.	Description	Revision Date
C0.01	COVER SHEET	ORIGINAL SUBMISSION
C1.01	EXISTING CONDITIONS & DEMOLITION PLAN	ORIGINAL SUBMISSION
C3.01	SITE LAYOUT PLAN	ORIGINAL SUBMISSION
C4.01	GRADING, DRAINAGE & UTILITY PLAN	ORIGINAL SUBMISSION
C6.01	LANDSCAPE PLAN	ORIGINAL SUBMISSION
C7.01	LIGHTING PLAN	ORIGINAL SUBMISSION
C8.01	SOIL EROSION & SEDIMENT CONTROL PLAN	ORIGINAL SUBMISSION
C8.01	SOIL EROSION & SEDIMENT CONTROL DETAILS	ORIGINAL SUBMISSION
C9.01	CONSTRUCTION DETAILS	ORIGINAL SUBMISSION
C9.02	CONSTRUCTION DETAILS	ORIGINAL SUBMISSION

PRELIMINARY/FINAL MAJOR SITE PLAN  
288 BEACHWAY AVENUE  
BLOCK 10; LOTS 1, 8 & 9  
BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

PROJECT NAME:  
288 Beachway Avenue  
Borough of Keansburg

Zone:  
Carr Avenue Corridor Redevelopment Area  
District: B-2

Block 10; Lots 1, 8 & 9 Residential				
Proposed Permitted Uses	Required	Existing	Proposed	Complies
Min. Lot Area	15,000 SF	20,000 SF	No Change	Yes
Min. Lot Width	No standard	100 ft	No Change	Yes
Min. Lot Depth	No standard	100 ft	No Change	Yes
Min. Lot Frontage	No Standard	100 ft	No Change	Yes
Min. Front Yard Setback from Property Line <sup>1</sup>	5 ft	N/A	5.0 ft	Yes
Streets Intersecting Carr Ave and Highland Ave	3 ft	N/A	3.82 ft	Yes
Max. Front Yard Setback from Property Line <sup>1</sup>	10 ft	N/A	7.44 ft	Yes
Streets Intersecting Carr Ave and Highland Ave	10 ft	N/A	6.18 ft	Yes
Min. Front Yard Setback from Curb Line	15 ft	N/A	12.74 ft	No*
Streets Intersecting Carr Ave and Highland Ave	7 ft	N/A	8.41 ft	Yes
Max. Front Yard Setback from Curb Line	20 ft	N/A	14.74 ft	Yes
Streets Intersecting Carr Ave and Highland Ave	5 ft for 1/3 of Building Facade 10 ft for Remainder of First Floor	N/A	11.38 ft	Yes
Min. Side Yard Setback from Property Line <sup>1</sup>	0 ft	N/A	N/A	Yes
Streets Intersecting Carr Ave and Highland Ave	5 ft	N/A	N/A	Yes
Max. Side Yard Setback from Property Line <sup>1</sup>	10 ft	N/A	N/A	Yes
Streets Intersecting Carr Ave and Highland Ave	5 Stories	N/A	4 Stories	Yes
Max. Building Height <sup>2</sup>	68 ft	N/A	50.5 ft	Yes
Max. Impervious Cover	95%	24.9%	94.3%	Yes
Min. Open Space	10%	5.7%	14.9%	No*
Max. Number of Residential Units Total for Redevelopment Area	430 Units	0 Units	42 Units (at 288 Beachway Ave)	Yes
Number of On-Site Parking Spaces	Residential: 1.0 Spaces/Unit - (2.0 Spaces x 42 Units = 84 Spaces) 10% Electrical Vehicle Space Reduction TOTAL = 38 Spaces	N/A	39 Spaces (2 ADA Spaces - 1 Van Accessible) (17 EV Spaces) 4 Additional Tandem Spaces	Yes
Min. Number of Electric Vehicle Spaces	42 Spaces x 15% = 7 EV Spaces	0	7 EV Spaces	Yes
Number of On-Site Bicycle Parking Spaces	Residential: 0.35 Spaces/Unit - (0.35 Spaces x 42 Units = 15 Spaces) TOTAL = 15 Spaces	N/A	19 Bicycle Spaces	Yes
Minimum Parking Space Dimensions	8.5 ft width by 18 ft length	N/A	8.5 ft x 16 ft	No
Drive Aisle Width (90° Parking Angle)	24 ft	N/A	24 ft	Yes

<sup>1</sup>Setback is measured from building facade and any front, side or rear lot line, measured perpendicular to such lot lines at the point where the building is closest to such lot lines. Balconies are permitted to encroach minimum setback by 5' per the approved Redevelopment Plan.

<sup>2</sup>Building Height is measured from average grade to the peak of pitched or vaulted roof, or the parapet of a flat roof.

<sup>3</sup>The minimum open space requirement can be satisfied in the form of public or private gathering spaces, courtyards, roof-top gardens, accessible and functional balconies, as well as landscaped areas at street level.

<sup>4</sup>Existing Approved Non-Conformity

<sup>5</sup>Pursuant to New Jersey Bill S3223 Section 3.c., a retailer providing 25 or fewer off-street parking spaces is not required to install any EVSE or "Make-Ready" spaces

\*Variance requested

GENERAL NOTES

APPLICANT

BEACHWAY ENTERPRISES, LLC  
513 COOKMAN AVENUE  
ASBURY PARK, NJ 07712

OWNER

BEACHWAY ENTERPRISES, LLC  
513 COOKMAN AVENUE  
ASBURY PARK, NJ 07712

1. PROJECT SITE BEING KNOWN AND DESIGNATED AS BLOCK 10, LOTS 1, 8 AND 9, AS SHOWN ON THE CURRENT TAX ASSESSMENT MAP OF BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY (SHEET 3), CONTAINING 0.46 ACRES TOTAL.

2. BOUNDARY, TOPOGRAPHIC, AND EXISTING CONDITIONS INFORMATION SHOWN BASED UPON MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BLOCK 10, LOT 1, 8 & 9, TAX PLATE 3, 288 BEACHWAY PREPARED MID ATLANTIC ENGINEERING PARTNERS, DATED 02/03/25.

3. SITE COORDINATES: 590,813' N, 593,279' E

4. HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88

5. PROPERTY IS LOCATED IN ZONE AE (EL1) PER FEMA'S FLOOD INSURANCE RATE MAP NUMBERED 34023C0034F, WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009. PROPERTY ALSO LOCATED ON ZONE AE (EL2) PER FEMA'S PRELIMINARY FLOOD INSURANCE RATE MAP NUMBERED 34025C0034G HAVING A PRELIMINARY DATE OF JANUARY 31, 2014.

6. BASED ON WUEP GIS REVIEW, NO WETLANDS OR WETLAND TRANSITION AREAS EXIST ON-SITE.

7. THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.

8. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND SUBJECT TO EXACT LOCATION IN THE FIELD DURING CONSTRUCTION AS REQUIRED BY ENGINEER OR AS DEEMED NECESSARY TO ACCURATELY LOCATE (HORIZONTAL AND VERTICALLY) ALL IMPACTED UTILITIES WHICH ARE IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR TO DETERMINE THE LOCATION AND ELEVATION OF THE CONFLICTING UTILITIES AND SUBMIT THE DATA TO THE ENGINEER FOR REVIEW ELEVATION PRIOR TO CONSTRUCTION.

9. ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM TO ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.

10. ALL CONTRACTORS MUST CALL THE NEW JERSEY ONE CALL SYSTEM (1-800-272-1000) TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DEMOLITION, CONSTRUCTION, ABANDONMENT, SOILS INVESTIGATION, AND/OR EXCAVATIONS.

11. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NADOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. ALL SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

APPROVED AS A PRELIMINARY/ FINAL SITE PLAN BY THE BOROUGH OF KEANSBURG PLANNING BOARD AT ITS MEETING HELD ON

BOARD CHAIR	DATE
SECRETARY	DATE
ENGINEER	DATE

PRELIMINARY/FINAL MAJOR SITE PLAN  
288 BEACHWAY AVENUE  
BLOCK 10; LOTS 1, 8 & 9  
COVER SHEET

MidAtlantic  
Engineering Partners

1971 Highway 94, Suite 201  
Wall Township, NJ 07719  
908-689-8400  
Fax: 908-689-8401  
www.midatlanticeng.com

391 W. State Street  
Morristown, NJ 07960  
609-565-0020  
609-565-0021  
Copyright © 2024, MidAtlantic Engineering Partners, LLC

DRAWN BY: LV  
CHECKED BY: MS  
HORIZONTAL SCALE: N/A  
VERTICAL SCALE: N/A  
PROJECT No.: SEI-2401  
DATE: 02/19/25

DATE: 02/19/25

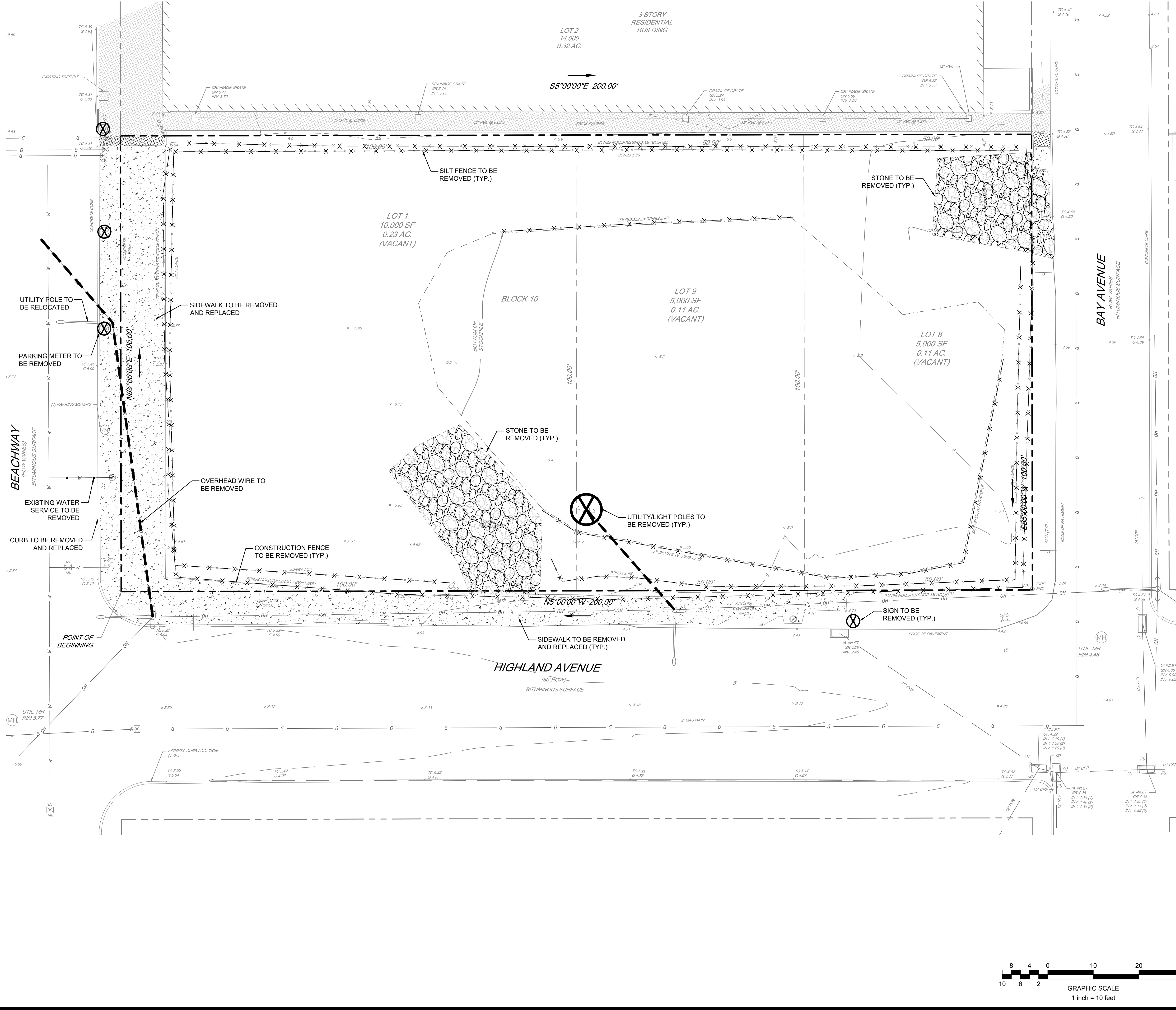
REVISIONS

DRAWN BY: DATE

CHECKED BY: DATE

Sheet Number  
C0.01  
Copyright © 2024  
MidAtlantic Engineering Partners, LLC





- EXISTING CONDITIONS NOTES**
- PROJECT SITE BEING KNOWN AND DESIGNATED AS BLOCK 10, LOTS 1, 8 AND 9, AS SHOWN ON THE CURRENT TAX ASSESSMENT MAP OF BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY (SHEET 3), CONTAINING 0.46 ACRES TOTAL.
  - BOUNDARY, TOPOGRAPHIC, AND EXISTING CONDITIONS INFORMATION SHOWN BASED UPON MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BLOCK 10, LOT 1, 8 & 9, TAX PLATE 3. 288 BEACHWAY" PREPARED MID ATLANTIC ENGINEERING PARTNERS, DATED 02/03/25.
  - SITE COORDINATES: 590.813' N, 593.279' E
  - HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
  - PROPERTY IS LOCATED IN ZONE AE (EL11) PER FEMA'S FLOOD INSURANCE RATE MAP NUMBERED 34023C0034F, WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009. PROPERTY ALSO LOCATED ON ZONE AE (EL12) PER FEMA'S PRELIMINARY FLOOD INSURANCE RATE MAP NUMBERED 34023C0034G HAVING A PRELIMINARY DATE OF JANUARY 31, 2014.
  - BASED ON NJDEP GIS REVIEW, NO WETLANDS OR WETLAND TRANSITION AREAS EXIST ON-SITE.
  - ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM TO ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
  - ALL DEBRIS GENERATED DURING CONSTRUCTION SUCH AS TREES, STUMPS, VEGETATION, DIRT PILES, CONSTRUCTION DEBRIS, ETC WITHIN THE PROJECT'S BOUNDARY SHALL BE REMOVED AS PART OF THIS PROJECT AND BE DISPOSED OF OFF-SITE UNLESS OTHERWISE STATED OR APPROVED.
  - THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO: SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.
  - THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND SUBJECT TO EXACT LOCATION IN THE FIELD DURING CONSTRUCTION AS REQUIRED BY ENGINEER OR AS DEEMED NECESSARY TO ACCURATELY LOCATE (HORIZONTAL AND VERTICALLY) ALL IMPACTED UTILITIES WHICH ARE IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR TO DETERMINE THE LOCATION AND ELEVATION OF THE CONFLICTING UTILITIES AND SUBMIT THE DATA TO THE ENGINEER FOR REVIEW ELEVATION PRIOR TO CONSTRUCTION.
  - ALL CONTRACTORS MUST CALL THE NEW JERSEY ONE CALL SYSTEM (1-800-272-1000) TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DEMOLITION, CONSTRUCTION, ABANDONMENT, SOILS INVESTIGATION, AND/OR EXCAVATIONS.
  - IN THE EVENT THAT ANY EXISTING STREET TREES ARE REMOVED DURING THE CONSTRUCTION OF THE PROJECT, THEY SHALL BE REPLACED BY THE APPLICANT.

- DEMOLITION NOTES**
- ALL ABOVE GROUND UTILITY APPURTENANCES (INCLUDING FIRE HYDRANTS, WATER METERS, INLET GRATES & FRAMES, MANHOLE COVERS & FRAMES) WITHIN THE PROJECT'S BOUNDARY THAT ARE TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT AN APPROPRIATE DISPOSAL FACILITY.
  - ALL STREET APPURTENANCES (INCLUDING SIGNS, POLES, TREES & FENCING) WITHIN THE LIMITS SHOWN ARE TO BE REMOVED AND DISPOSED OFF-SITE UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO COORDINATE ALL REMOVAL OF EXISTING LIGHTING, UTILITY POLES, ELECTRIC LINES, GUY WIRES, ETC. WITH RESPECTIVE UTILITY / COMMUNICATIONS COMPANIES.
  - ALL UNDERGROUND UTILITIES, LINES, PIPING, STRUCTURES, FOUNDATIONS, VAULTS AND BUILDING FRAGMENTS ARE ASSOCIATED WITH FORMER BUILDINGS, WITHIN THE PROJECT BOUNDARY, ARE TO BE REMOVED AND DISPOSED OFF-SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.
  - ALL DEMOLITION SHALL CONFORM TO ANY APPLICABLE FEDERAL, STATE OR LOCAL REGULATIONS. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND WILL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO ABANDONMENT AND/OR DEMOLITION.
  - ALL STRUCTURES (CURBS, SIDEWALKS, RETAINING WALL, FENCES, ASPHALT, CONCRETE, ETC.) WITHIN THE PROJECT'S BOUNDARY SHALL BE REMOVED AND DISPOSED OFF-SITE AT AN APPROPRIATE DISPOSAL FACILITY.
  - ALL SANITARY SEWER AND STORM SEWER MAINS AND STRUCTURES, INCLUDING CLEANOUTS, REMOVED WITHIN THE PROJECT'S BOUNDARY SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROPRIATE DISPOSAL FACILITY.
  - CAP ANY UTILITIES TO BE REMOVED AT PERIMETER OF SITE, UNLESS OTHERWISE REQUIRED BY THE TOWNSHIP OR UTILITY PROVIDER.
  - CONTRACTOR IS RESPONSIBLE FOR BACKFILL AND COMPACTION CERTIFICATION.
  - THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES THAT CONSTRUCTION OF THE WORK UNDER THIS PLAN WILL PASS THROUGH AREAS WHERE THEIR SERVICES EXIST. NOTIFICATION TO THE UTILITIES MUST BE MADE IN A SUFFICIENT AMOUNT OF TIME IN ADVANCE (MIN. 72 HOURS) PRIOR TO START OF ANY CONSTRUCTION WORK IN THE AFFECTED AREAS.
  - ALL UTILITY CONNECTIONS TO ADJACENT BUILDINGS MUST STAY ACTIVE. THE CONTRACTOR SHALL PROVIDE ADVANCE NOTICE TO THE BUILDING OWNERS OF ANY TEMPORARY INTERRUPTIONS OF SERVICES. TEMPORARY INTERRUPTIONS MAY BE NEEDED TO CONNECT THE EXISTING SERVICES TO THE NEWLY CONSTRUCTED UTILITIES AND TO TEST THE NEW UTILITIES.
  - THE CONTRACTOR IS RESPONSIBLE TO ENSURE SHUT OFF, DISCONNECT, AND/OR CAPPING OF ALL UTILITIES TO THE SITE AS NECESSARY INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, ELECTRIC, CABLE, TELEPHONE, ETC. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY SHUT OFFS AND LETTERS, OBTAINING ALL PERMITS TO COMPLETE ALL PHASES OF THE PROJECT AND TO PROVIDE / MAINTAIN PERIMETER CHAIN LINK FENCING (MIN. 6' HIGH) AND SILT FENCING FOR THE DURATION OF THE PROJECT. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CONSTRUCTION ENTRANCE AND MAINTAINING SITE SECURITY.
  - ALL CONNECTIONS WITH EXISTING PAVEMENT, CURB, SIDEWALK ETC. SHALL BE SAW CUT.
  - ANY REQUIRED ROAD CLOSURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COORDINATED/APPROVED BY THE TOWNSHIP ENGINEER.
  - ANY UNDERGROUND STRUCTURES BEING DISTURBED, THAT ARE TO REMAIN, ARE TO BE RESET TO MATCH PROPOSED GRADES. ANY STRUCTURES BEING RETROFIT ARE TO BE RESET AND RECAST WITH APPROPRIATE GRATES / CURB PIECES.
  - SITE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED DURING DEMOLITION.

**LEGEND**

- PROJECT BOUNDARY  
EXISTING BUILDING  
EXISTING MAJOR CONTOUR  
EXISTING MINOR CONTOUR  
EXISTING SPOT ELEVATION  
EXISTING SANITARY SEWER LINE  
EXISTING SANITARY SEWER MANHOLE  
EXISTING SANITARY SEWER CLEANOUT  
EXISTING STORM SEWER LINE  
EXISTING TYPE 'A' INLET  
EXISTING TYPE 'B' INLET  
EXISTING MANHOLE/STORM GRATE  
EXISTING DOWNSPOUT  
EXISTING WATER LINE  
EXISTING WATER VALVE  
EXISTING SPRINKLER BOX  
EXISTING WATER METER PIT  
EXISTING FIRE HYDRANT  
EXISTING GAS LINE  
EXISTING GAS VALVE  
EXISTING OVERHEAD ELECTRIC LINE  
EXISTING UTILITY POLE  
EXISTING UTILITY POLE W/ LIGHT  
EXISTING FENCELINE  
EXISTING LIGHT POLE  
EXISTING SIGNAGE  
CONCRETE TO BE REMOVED  
SIDEWALK TO BE REMOVED  
STONE TO BE REMOVED

**PRELIMINARY/FINAL MAJOR SITE PLAN**

288 BEACHWAY AVENUE

BLOCK 10, LOTS 1, 8 & 9

**EXISTING CONDITIONS & DEMOLITION PLAN**

SITUATED IN

BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

**MidAtlantic**  
Engineering Partners

28 Washington St. 3rd Floor  
Morristown, NJ 07960  
393 W. State Street  
Morristown, NJ 07960  
1971 Highway 94, Suite 201  
Wall Township, NJ 07719  
90848 Briggs Rd., Suite 200  
Mt. Laurel Twp., NJ 08054  
609-910-1450  
610-565-0020  
732-722-8899  
Copyright © 2024, MidAtlantic Engineering Partners, LLC

Sheet Number

**C1.01**

Copyright © 2024  
MidAtlantic Engineering Partners, LLC

CREATED BY:	MS	DATE:	02/19/24
DRAWN BY:	LV	REVISIONS:	
CHECKED BY:	MS	DATE:	
VERTICAL SCALE:	N/A	DATE:	
HORIZONTAL SCALE:	1"=10'	DATE:	
PROJECT No.:	SEI-2401	DATE:	

**Ian A. Burton, P.E.**  
PROFESSIONAL ENGINEER  
N.J. Lic. No. 0B0419600

CHECKED BY

DRAWN BY



File Name: C:\S:\MidAtlantic\Enterprise\Inc\JOBS\SEI-2401 - 288 Beachway Avenue\Civil\DWG\300-Layout.dwg  
Plot Time: Feb 19, 2025 - 9:58am

PROJECT NAME:		Zone:			
288 Beachway Avenue Borough of Keansburg		Carr Avenue Corridor Redevelopment Area District: B-2			
		Block 10, Lots 1, 8 & 9			
Proposed Permitted Uses		Residential			
	Required	Existing	Proposed	Complies	
Min. Lot Area	15,000 SF	20,000 SF	No Change	Yes	
Min. Lot Width	No standard	100 ft	No Change	Yes	
Min. Lot Depth	No standard	100 ft	No Change	Yes	
Min. Lot Frontage	No Standard	100 ft	No Change	Yes	
Min. Front Yard Setback from Property Line <sup>1</sup>	Along Highland Ave 5 ft	N/A	5.0 ft	Yes	
Streets Intersecting Carr Ave and Highland Ave	3 ft	N/A	3.82 ft	Yes	
Max. Front Yard Setback from Property Line <sup>1</sup>	Along Highland Ave 10 ft	N/A	7.44 ft	Yes	
Streets Intersecting Carr Ave and Highland Ave	10 ft	N/A	6.18 ft	Yes	
Min. Front Yard Setback from Curb Line	Along Highland Ave 15 ft	N/A	12.74 ft	No*	
Streets Intersecting Carr Ave and Highland Ave	7 ft	N/A	8.41 ft	Yes	
Max. Front Yard Setback from Curb Line	Along Highland Ave 20 ft	N/A	14.74 ft	Yes	
Streets Intersecting Carr Ave and Highland Ave	15 ft	N/A	11.38 ft	Yes	
Min. Rear Yard Setback	5 ft for 1/3 of Building Façade 10 ft for Remainder of first floor	N/A	11.56 ft	Yes	
Min. Side Yard Setback from Property Line <sup>1</sup>	Along Highland Ave 0 ft	N/A	N/A	Yes	
Streets Intersecting Carr Ave and Highland Ave	5 ft	N/A	N/A	Yes	
Max. Side Yard Setback from Property Line <sup>1</sup>	Along Highland Ave 10 ft	N/A	N/A	Yes	
Streets Intersecting Carr Ave and Highland Ave	10 ft	N/A	N/A	Yes	
Max. Number of Stories	5 Stories	N/A	4 Stories	Yes	
Max. Building Height <sup>2</sup>	68 ft	N/A	50.5 ft	Yes	
Max. Impervious Cover	95%	24.5%	94.3%	Yes	
Min. Open Space	10%	N/A	5.7%	No*	
Max. Number of Residential Units	430 Units	0 Units	42 Units (at 288 Beachway Ave)	Yes	
Total for Redevelopment Area					
Number of On-Site Parking Spaces	Residential: 1.0 Spaces/Unit - (1.0 Spaces x 42 Units = 42 Spaces) 10% Electrical Vehicle Space Reduction TOTAL: 18 Spaces	N/A	39 Spaces (2 ADA Spaces - 1 Van Accessible) (7 EV Spaces) 4 Additional Tandem Spaces	Yes	
Min. Number of Electric Vehicle Spaces	42 Spaces x 15% = 7 EV Spaces	0	7 EV Spaces	Yes	
Number of On-Site Bicycle Parking Spaces	Residential: 0.35 Spaces/Unit - (0.35 Spaces x 42 Units = 15 Spaces) TOTAL: 15 Spaces	N/A	10 Bicycle Spaces	Yes	
Minimum Parking Space Dimensions					
Drive Aisle Width (90° Parking Angle)	8.5 ft width by 18 ft length	N/A	8.5 ft x 16 ft	No	
	24 ft	N/A	24 ft	Yes	

<sup>1</sup>Setback is measured from building facade and any front, side or rear lot line, measured perpendicular to such lot line as the minimum setback if closest to such lot line. Balconies are permitted to encroach 5' per the approved Redevelopment Plan.

<sup>2</sup>Building height is measured from average grade to the peak of pitched or vaulted roof, or the parapet of a flat roof.

\*The minimum open space requirement can be satisfied in the form of public or private gathering spaces, courtyards, roof-top decks, accessible and functional balconies, as well as landscaped areas.

<sup>3</sup>Existing Approved Non-Conformity

<sup>4</sup>See New Jersey Bill S3223 Section 3.c., a retailer providing 25 or fewer off-street parking spaces is not required to install any EVSE or "Make-Buy" spaces

\* Variance requested

\*Setback is measured from building facade and any front, side or rear lot line, measured perpendicular to

such lot lines as the point where the building is closest to such lot lines. Balconies are permitted to encroach minimum setback by 5' per the approved Redevelopment Plan.

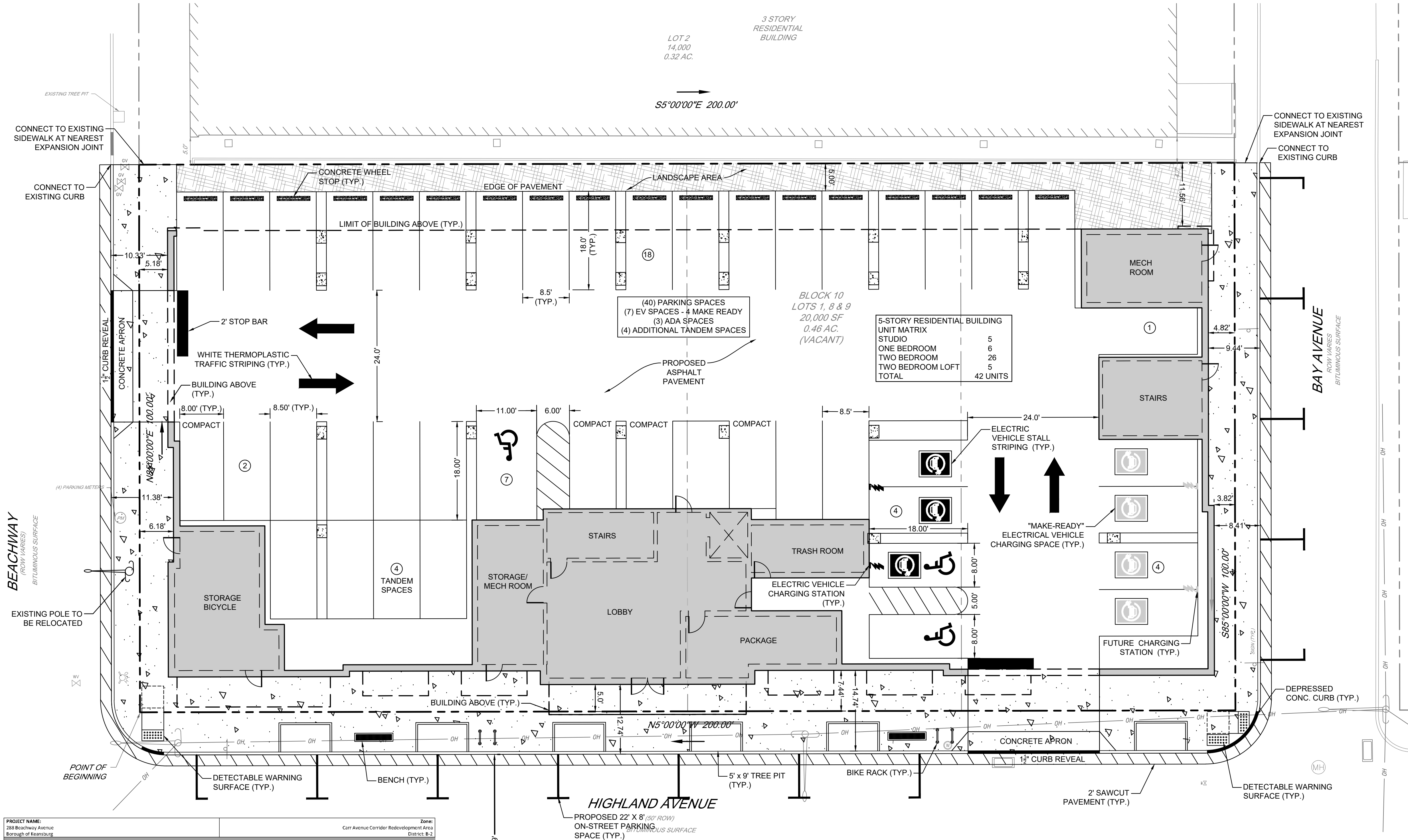
\*Building height is measured from average grade to the peak of pitched or vaulted roof, or the pursuit of a flat roof.

\*The minimum open space requirement can be satisfied in the form of public or private gathering spaces, courtyards, roof-top gardens, accessible and functional balconies, as well as landscaped areas at street level.

\*Existing approved Non-Conformity

\*Pursuant to New Jersey Bill S3223 Section 3.c, a retailer providing 25 or fewer off-street parking spaces is not required to install any EVSE or "Make-Ready" spaces

\*Variance requested

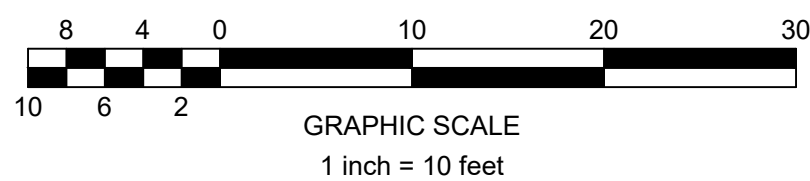


#### LAYOUT NOTES

- PROJECT SITE BEING KNOWN AND DESIGNATED AS BLOCK 10, LOTS 1, 8 AND 9, AS SHOWN ON THE CURRENT TAX ASSESSMENT MAP OF BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY (SHEET 3), CONTAINING 0.46 ACRES TOTAL.
- BOUNDARY, TOPOGRAPHIC, AND EXISTING CONDITIONS INFORMATION SHOWN BASED UPON MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BLOCK 10, LOT 1, 8 & 9, TAX PLATE 3, 288 BEACHWAY" PREPARED MIDATLANTIC ENGINEERING PARTNERS, DATED 02/03/25.
- SITE COORDINATES: 590,813' N, 593,279' E
- HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
- PROPERTY IS LOCATED IN ZONE AE (EL-1) PER FEMA'S FLOOD INSURANCE RATE MAP NUMBERED 34023C0034F, WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009. PROPERTY ALSO LOCATED ON ZONE AE (EL-2) PER FEMA'S PRELIMINARY FLOOD INSURANCE RATE MAP NUMBERED 34025C0034C HAVING A PRELIMINARY DATE OF JANUARY 31, 2014.
- BASED ON NJDEP GIS REVIEW, NO WETLANDS OR WETLAND TRANSITION AREAS EXIST ON-SITE.
- THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND SUBJECT TO EXACT LOCATION IN THE FIELD DURING CONSTRUCTION AS REQUIRED BY ENGINEER OR AS DEEMED NECESSARY TO ACCURATELY LOCATE (HORIZONTAL AND VERTICALLY) ALL IMPACTED UTILITIES WHICH ARE IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR TO DETERMINE THE LOCATION AND ELEVATION OF THE CONFLICTING UTILITIES AND SUBMIT THE DATA TO THE ENGINEER FOR REVIEW ELEVATION PRIOR TO CONSTRUCTION SHALL CONFORM TO ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
- ALL CONTRACTORS MUST CALL THE NEW JERSEY ONE CALL SYSTEM (1-800-272-1000) TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DEMOLITION, CONSTRUCTION, ABANDONMENT, SOILS INVESTIGATION, AND/OR EXCAVATIONS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH N.J.DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. ALL SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

#### LEGEND

- EXISTING BOUNDARY
- EXISTING CURB
- PROPOSED CURB
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED SIGN
- PROPOSED SETBACK
- EXISTING FENCELINE
- PROPOSED FENCELINE
- 100-YR WATER SURFACE ELEV.
- BASEIN BOTTOM
- PROPOSED RETAINING WALL



#### PRELIMINARY/FINAL MAJOR SITE PLANS

288 BEACHWAY AVENUE  
BLOCK 10: LOTS 1, 8 & 9

SITE LAYOUT PLAN  
SITUATED IN  
BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

**MidAtlantic**  
Engineering Partners

90488 Bridge Rd, Suite 200  
Mt Laurel Twp, NJ 08054  
609-910-4450  
391 W. State Street  
Middletown, NJ 07719  
610-565-0020  
28 Washington St, 3rd Floor  
Middletown, NJ 07960  
973-715-8602  
Certificate of Authorization No. 24-GAS8484900

Sheet Number

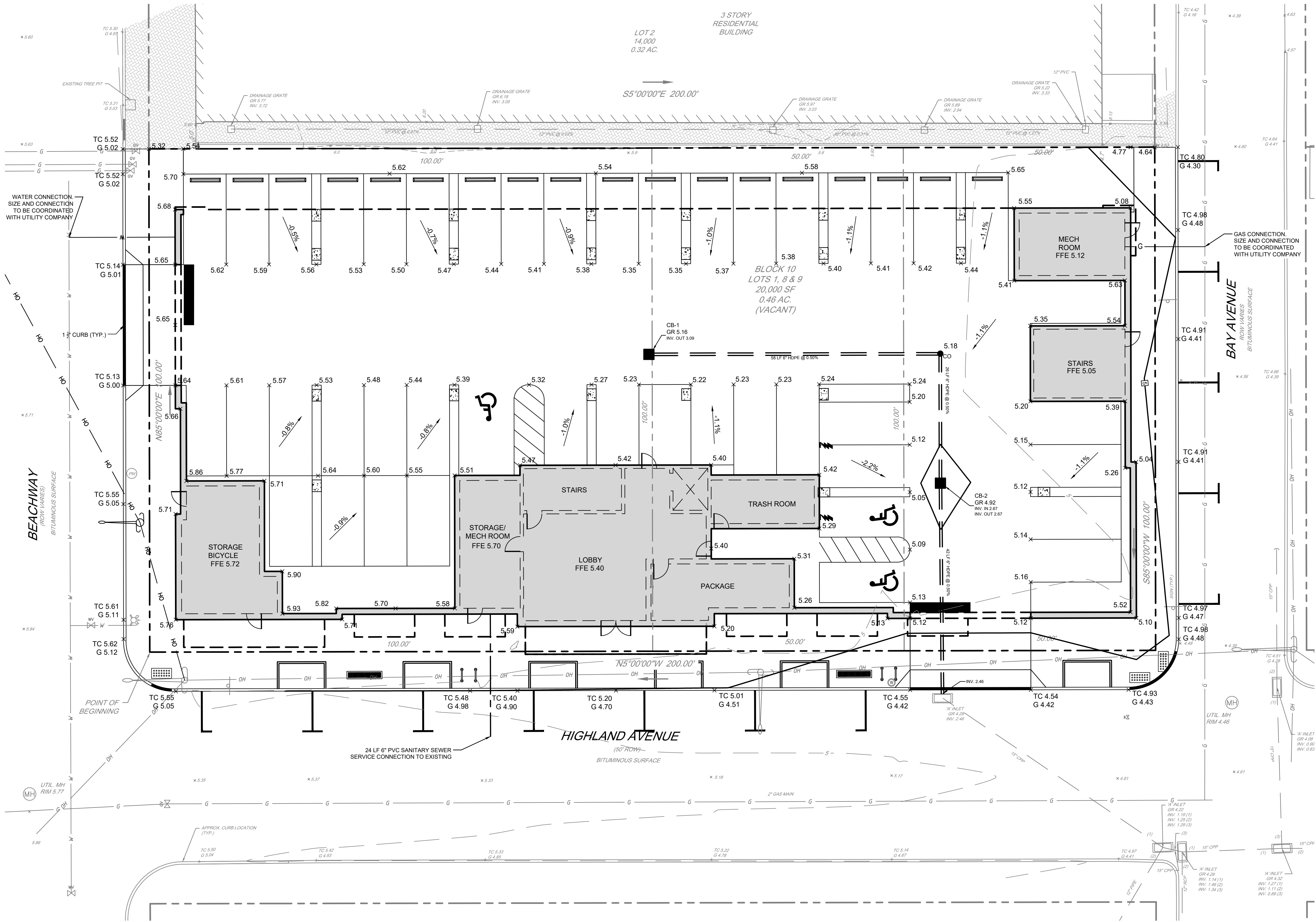
C3.01

Copyright © 2024  
MidAtlantic Engineering Partners, LLC

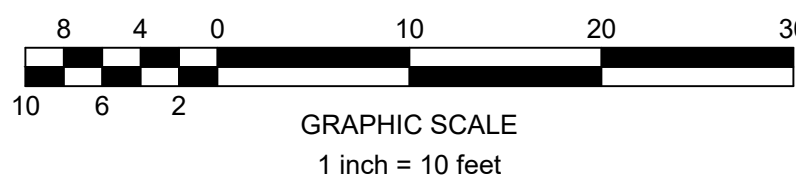
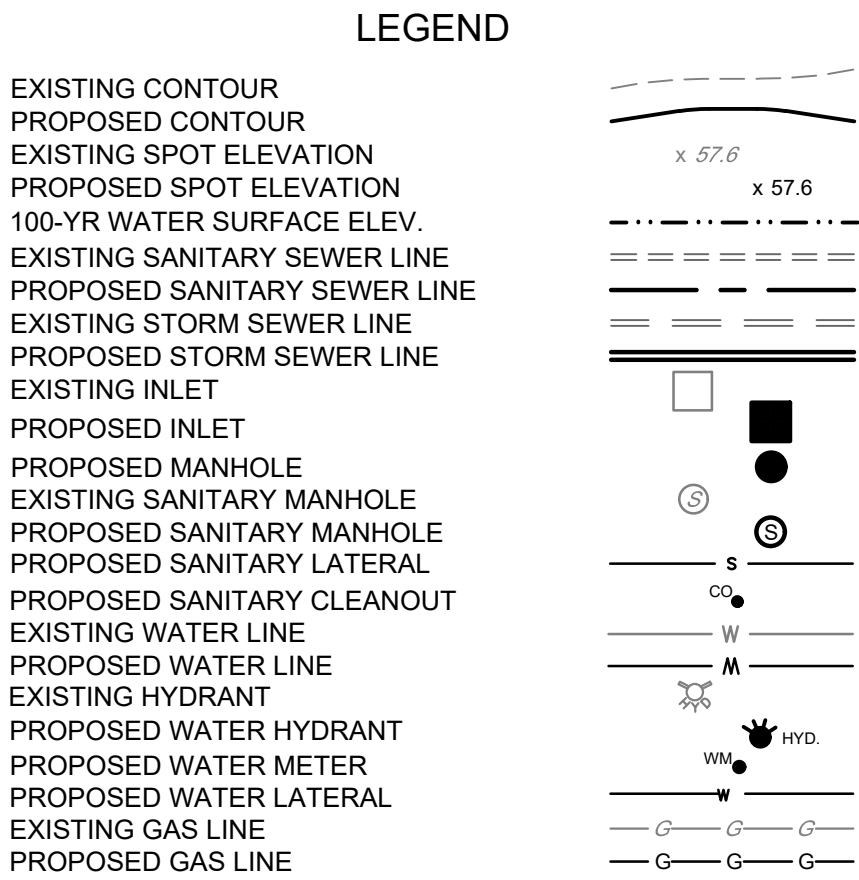
DRAWN BY		CHECKED BY		DATE		REVISIONS		DRAWN BY		CHECKED BY	
LV		MS		02/19/25							
1"=10'		N/A									
PROJECT No.		SEI-2401									
DATE		02/19/25									

**Ian A. Burton, P.E.**  
PROFESSIONAL ENGINEER  
N.J. Lic. No. 0B05419600





- UTILITY NOTES**
- HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
  - ALL CONTRACTORS MUST CALL THE NEW JERSEY ONE CALL SYSTEM (800-272-1000) IN ACCORDANCE WITH THE UNDERGROUND FACILITIES CONTROL ACT LAW PRIOR TO ANY SUBSURFACE ACTIVITY.
  - ATTENTION TO THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.
  - CONTRACTOR TO PERFORM TEST FITS TO VERIFY EXISTING UTILITY DEPTHS, SIZES AND LOCATIONS PRIOR TO CONNECTING PROPOSED SEWER AND WATER MAINS TO EXISTING SEWER AND WATER MAINS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS SO THAT DESIGN MODIFICATIONS CAN BE MADE IF NECESSARY.
  - ALL CONSTRUCTION SHALL CONFORM TO ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
  - SEE MECHANICAL ARCHITECTURAL PLANS FOR ALL UTILITY CONNECTIONS TO BUILDING. ALL UTILITY CONNECTIONS SHALL BE REVIEWED & VERIFIED BY THE CONTRACTOR PRIOR TO START OF SITE CONSTRUCTION.
  - SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL WATER AND SANITARY SEWER STRUCTURES, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING.
  - ALL UTILITY SERVICE CONNECTIONS TO BUILDINGS TO BE LOCATED UNDERGROUND.
  - PIPE LENGTHS INDICATED ARE MEASURED CENTER TO CENTER OF EACH STRUCTURE.
  - ALL SANITARY AND DRAINAGE STRUCTURES SHALL BE PRECAST CONCRETE UNLESS OTHERWISE SPECIFIED.
  - REFER TO WATER AND SANITARY SEWER TECHNICAL SPECIFICATIONS FOR MATERIAL, INSTALLATION AND TESTING REQUIREMENTS.
  - UNLESS OTHERWISE INDICATED:
    - RCP SHALL BE CLASS 5 WALL, BELL AND SPIGOT TYPE WITH O-RING GASKETS.
    - HDPE PIPES SHALL BE ADS N-12 WITH SOIL TIGHT JOINTS OR APPROVED EQUAL.
    - DIP WATER MAIN SHALL BE CLASS PSI 350 CEMENT LINED DUCTILE IRON PIPE (POLYETHYLENE ENCASEMENT).
    - SANITARY SEWER MAINS AND LATERALS SHALL BE PVC SDR-35, PUSH ON, GASKETED JOINT (ASTM-3034).
  - ALL NEW WATER MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM OF 3.5 FEET OF COVER (RELATIVE TO PROPOSED GRADE) OVER THE PIPE TO PREVENT FREEZING.
  - ALL NEW SANITARY SEWER MAINS AND LATERALS SHALL BE INSTALLED WITH A MINIMUM OF 3 FEET OF COVER (RELATIVE TO PROPOSED GRADE) OVER THE PIPE TO PREVENT FREEZING.
  - 4" SANITARY SEWER LATERALS SHALL SLOPED AT 1:48 (2.1%), 6" LATERALS SHALL BE SLOPED AT 1:96 (1.05%).
  - A 10-FT. HORIZONTAL DISTANCE SHALL SEPARATE WATER MAINS AND SANITARY SEWER MAINS. WHERE SUCH SEPARATION IS NOT POSSIBLE, THE WATER MAINS AND SANITARY SEWER MAINS SHALL BE INSTALLED IN SEPARATE TRENCHES WITH THE WATER MAIN AT LEAST 18 INCHES ABOVE THE SEWER MAIN. WHERE SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER MAIN SHALL BE CONSTRUCTED WITH WATERTIGHT JOINTS FOR A DISTANCE OF 10 FEET IN EITHER DIRECTION OF THE WATER MAIN (N.J.A.C. 7:10-11.7(D)-5).
  - ADEQUATE STRUCTURAL SUPPORT OF SEWERS AND WATER LINES AT ALL POINTS OF CROSSING SHALL BE PROVIDED TO PREVENT EXCESSIVE DEFLECTION, SETTLEMENT OR DAMAGE. THE CROSSINGS SHALL BE ARRANGED SUCH THAT THE JOINTS IN THE PIPES ARE EQUIDISTANT AND AS FAR APART AS POSSIBLE FROM THE OTHER PIPE.
  - WHERE UTILITIES CROSS BENEATH EXISTING / PROPOSED WATER MAINS OR STORM AND SANITARY SEWERS, THE UTILITY CONTRACTOR SHALL PROVIDE ADEQUATE STRUCTURAL SUPPORT BY INSTALLING SELECT BACKFILL FROM THE UTILITY TO THE SPRING LINE OF THE WATER MAIN OR SEWER. SELECT BACKFILL SHALL BE CLEAN SAND OR RIDOT SOIL, 1:3 COMPACTED TO 95% OF THE MODIFIED PROCTOR AGGREGATE TYPE DENSITY ASTM D-698 METHOD D. IT SHALL EXTEND A MINIMUM OF 10 FEET EACH WAY FROM THE CENTERLINE OF THE CROSSING.
  - ELECTRICAL, TELEPHONE, CATV AND ALL OTHER WIRE-SERVED UTILITY EXTENSIONS AND SERVICES SHALL BE INSTALLED UNDERGROUND WITH STANDARDS ESTABLISHED BY THE SERVICING UTILITY COMPANY.
  - ELECTRICAL TRANSFORMER PAD SPECIFICATIONS, CONDUIT LOCATIONS AND INSTALLATION TO BE COORDINATED WITH ELECTRIC COMPANY PRIOR TO INSTALLATION.
  - THERE SHALL BE NO MECHANICAL EQUIPMENT ON THE GROUND LEVEL OR GROUND MOUNTED.
  - ROOF-TOP MECHANICAL EQUIPMENT SHALL BE APPROPRIATELY AND PERMANENTLY SCREENED AND NOT VISIBLE FROM THE PUBLIC STREET LEVEL.
  - THE PROPOSED BUILDING WILL BE SPRINKLERED FOR FIRE SUPPRESSION. FIRE SUPPRESSION SHALL BE IN ACCORDANCE WITH PLANS APPROVED BY THE KENANSBURG FIRE SUBCODE OFFICIAL AND THE BOROUGH'S BUREAU OF FIRE PREVENTION.
  - PROPOSED FIRE HYDRANT ALONG HIGHLAND AVENUE SHALL BE INSTALLED WITHIN 100 FT. OF THE DEVELOPMENT SITE.



- GRADING NOTES**
- HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
  - ALL CURBS SHALL BE PAVEMENT FLUSH DEPRESSED AT CROSSWALKS AND HANDICAPPED RAMPS TO CONFORM TO APPLICABLE STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
  - ADA DESIGNATED UNITS ARE TO CONFORM TO THE ACCESSIBILITY STANDARDS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT. WHERE APPLICABLE, ALL WALKWAYS, RAMPS, RISERS, AND IMPROVEMENTS SHALL BE ADA COMPLIANT.
  - ALL WALKWAYS TO HAVE A MAXIMUM CROSS SLOPE OF 2% AND RUNNING SLOPE OF 5% UNLESS OTHERWISE NOTED.
  - SIDEWALK/WALKWAY RISERS MUST BE GREATER THAN 4" AND LESS THAN 7". TREAD DEPTH TO BE 1" MIN.
  - ALL PROPOSED CURBING SHALL HAVE A 6" REVEAL, UNLESS OTHERWISE STATED.
  - ALL GRADING WITHIN GRASSED AREAS TO BE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 SLOPE UNLESS OTHERWISE NOTED.
  - ALL GRADING IN PAVEMENT AREAS SHALL BE GREATER THAN 1% UNLESS OTHERWISE NOTED.
  - POSITIVE DRAINAGE TO BE MAINTAINED FROM ALL BUILDINGS IN ACCORDANCE WITH APPLICABLE REGULATIONS AND BUILDING CODE.
  - FLOOR ELEVATIONS, ADJACENT GRADE, DOORWAY LOCATIONS AND ELEVATIONS SHALL BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
  - ALL GRASSED AREAS TO HAVE A MINIMUM OF 4" CLEAN TOP SOIL WHEN SOD IS BEING INSTALLED OR 6" CLEAN TOP SOIL FOR SEEDING APPLICATIONS.
  - ALL CONTRACTORS MUST CALL THE NEW JERSEY ONE CALL SYSTEM (800-272-1000) IN ACCORDANCE WITH THE UNDERGROUND FACILITIES CONTROL ACT LAW PRIOR TO ANY SUBSURFACE ACTIVITY.
  - SOIL COMPACTION TO BE PER ARCHITECTURAL REQUIREMENTS BASED ON SLAB AND FOOTING DESIGN. 95% MINIMUM COMPACTION REQUIRED PER MODIFIED PROCTOR MOISTURE DENSITY TEST PROCEDURE ASTM D1557.

**PRELIMINARY/FINAL MAJOR SITE PLAN**

288 BEACHWAY AVENUE

BLOCK 10, LOTS 1, 8 & 9

GRADING, DRAINAGE, & UTILITIES

SITUATED IN

BOROUGH OF KENANSBURG, MONMOUTH COUNTY, NEW JERSEY

**MidAtlantic**  
**Engineering Partners**

288 Washington St., 3rd Floor  
Morristown, NJ 07960  
391 W. State Street  
Wall Township, NJ 07719  
609-685-0020  
732-722-8899  
609-910-1450  
Copyright © 2024, MidAtlantic Engineering Partners, LLC

Sheet Number

**C4.01**

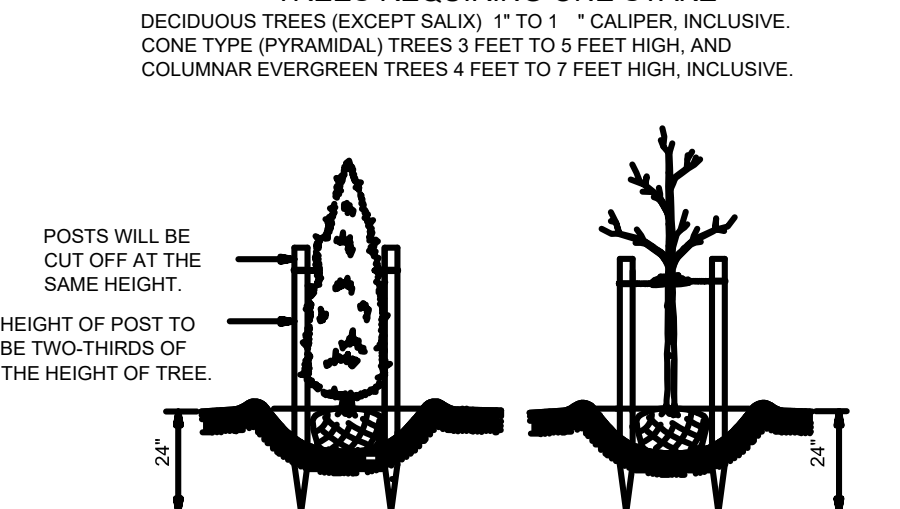
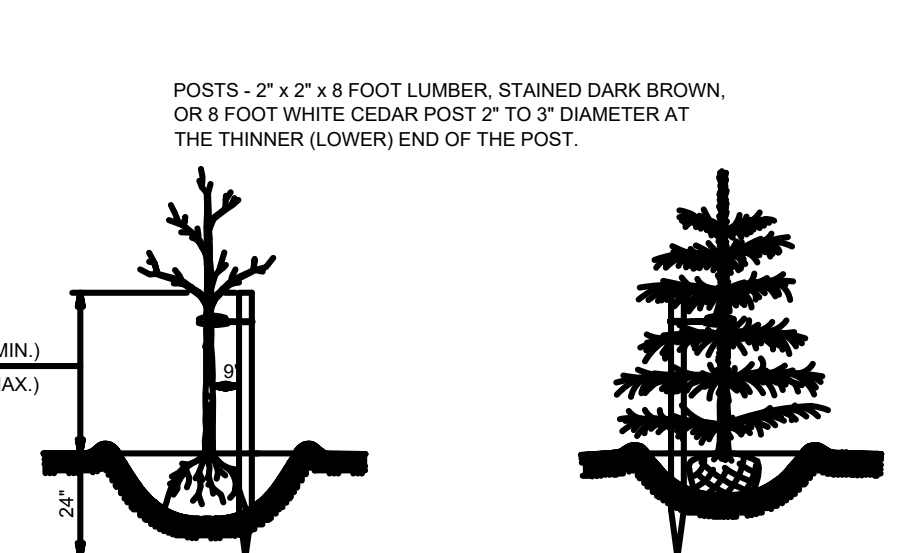
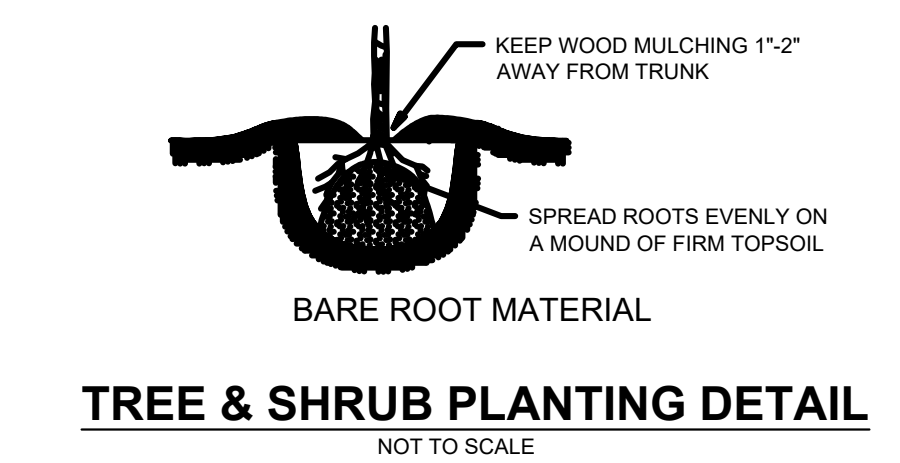
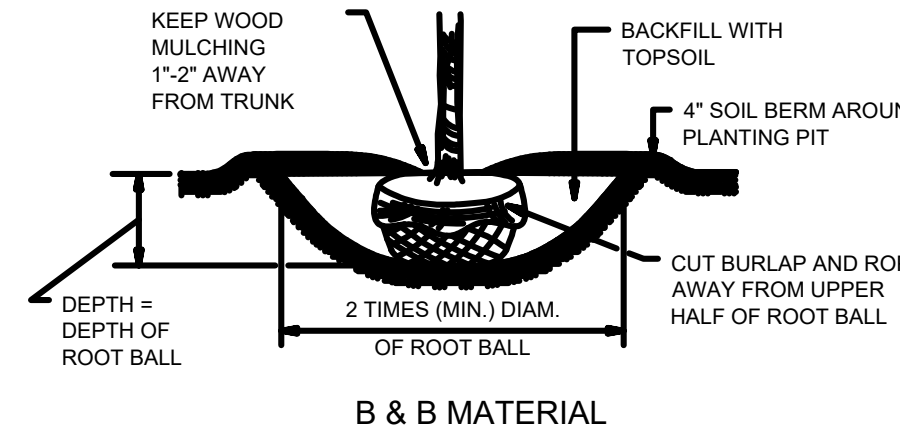
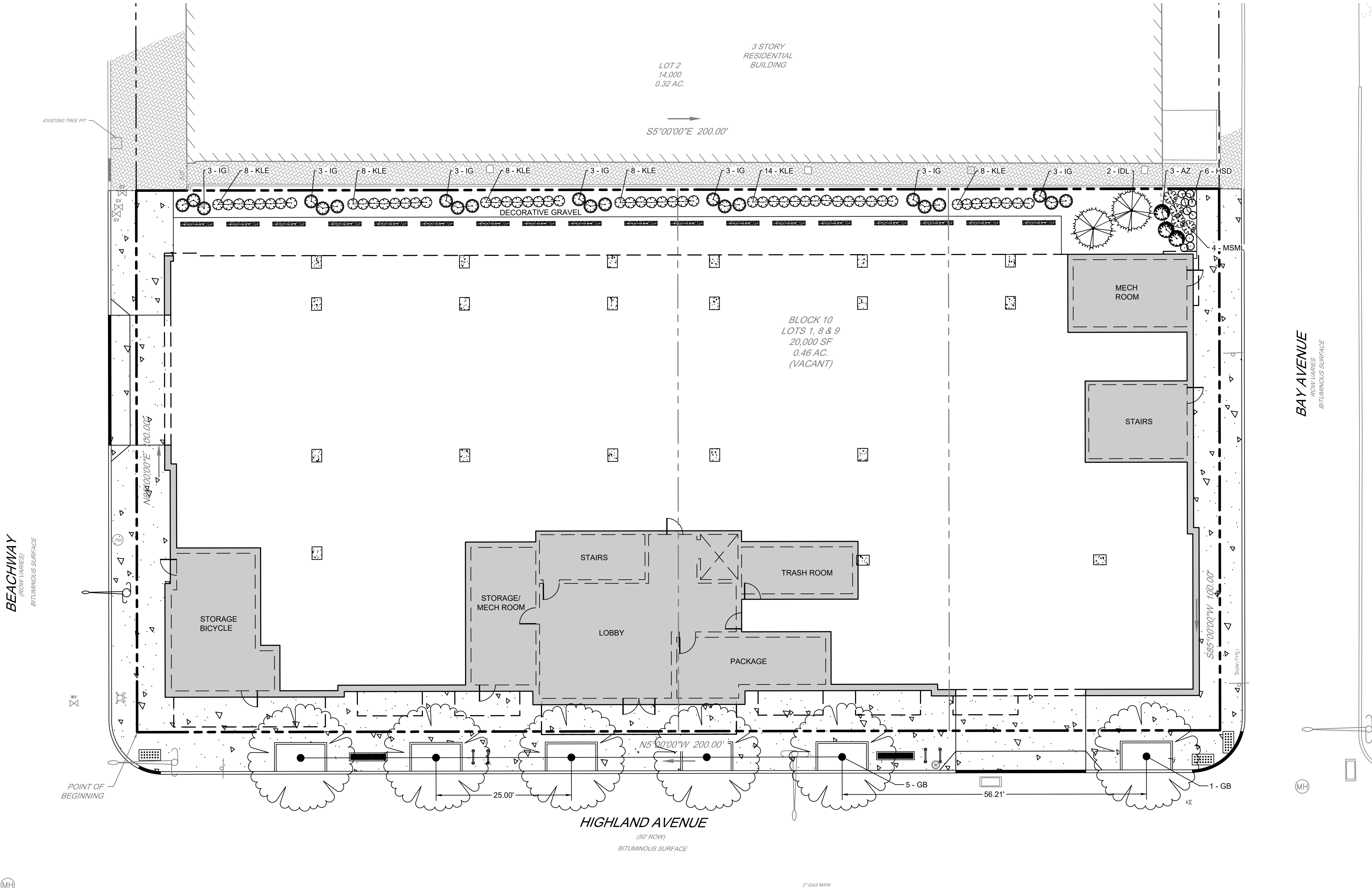
Copyright © 2024  
MidAtlantic Engineering Partners, LLC

CREATED BY	DATE	REVISIONS	CHECKED BY
MS			
LV			
PROJECT No.	SEI-2401		
DATE	02/19/25		

*Ian A. Burton, P.E.*

**Ian A. Burton, P.E.**  
PROFESSIONAL ENGINEER  
N.J. Lic. No. 0B0419600





PLANT SCHEDULE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
EVERGREEN SHRUBS						
IG	21	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	15-18"	2 GAL.	NATIVE PLANT SPECIES
KLE	54	KALMIA LATIFOLIA 'ELF'	ELF DWARF MOUNTAIN LAUREL	18-24" HT.	2 GAL.	
AZ	3	RHOODENDRON X 'MOBILES'	AUTUMN LILAC ENCORE AZALEA	18-24" HT.	3 GAL.	
EVERGREEN TREES						
IDL	2	ILEX X AQUIFOLIUM 'DRAGON LADY' TM	DRAGON LADY HOLLY	6-7' HT.	B&B	MATURE HT. OF 10-15'
SHADE TREES						
GB	6	GINKGO BILOBA MAGYAR	MAIDENHAIR TREE	3.5-4" CAL.	B&B	
PERENNIAL						
HSD	9	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL.	POT	MATURE HT. 3-4'
MSML	4	MISCANTHUS SINENSIS 'MORNING LIGHT'	EULALIA GRASS	1 GAL.	POT	DROUGHT TOLERANT PLANT

- PLANTING NOTES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL-DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
  - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST TWO YEARS FROM THE DATE OF FINAL APPROVAL BY THE BOROUGH. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEED EQUAL TO THAT STATED ABOVE.
  - IN SO FAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY.
  - QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
  - ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
  - PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
  - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
  - SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
  - ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
  - EACH TREE AND SHRUB SHALL BE PERPETUALLY MAINTAINED, PRUNED, REPLACED AND REPLANTED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
  - ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
  - NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
  - IF THERE ARE ANY DISCREPANCIES BETWEEN THE AMOUNTS SHOWN ON THE PLAN AND IN THE PLANT LIST, THE PLAN WILL DICTATE.

CHECKED BY

DRAWN BY

DATE

REVISIONS

CHECKED BY

DRAWN BY

DATE

REVISIONS

CHECKED BY

DRAWN BY

DATE

REVISIONS

CHECKED BY

DRAWN BY

DATE

REVISIONS

PROJECT No.

SEI-2401

DATE

02/19/25

PRELIMINARY/FINAL MAJOR SITE PLAN

288 BEACHWAY AVENUE

BLOCK 10: LOTS 1, 8 & 9

LANDSCAPE PLAN

SITUATED IN

BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

MidAtlantic

Engineering Partners

1971 Highway 94, Suite 201

Manasquan, NJ 07960

908-683-8888

609-910-4450

391 W. State Street

Medford, NJ 07719

732-222-8899

609-910-4450

Copyright © 2024, MidAtlantic Engineering Partners, LLC

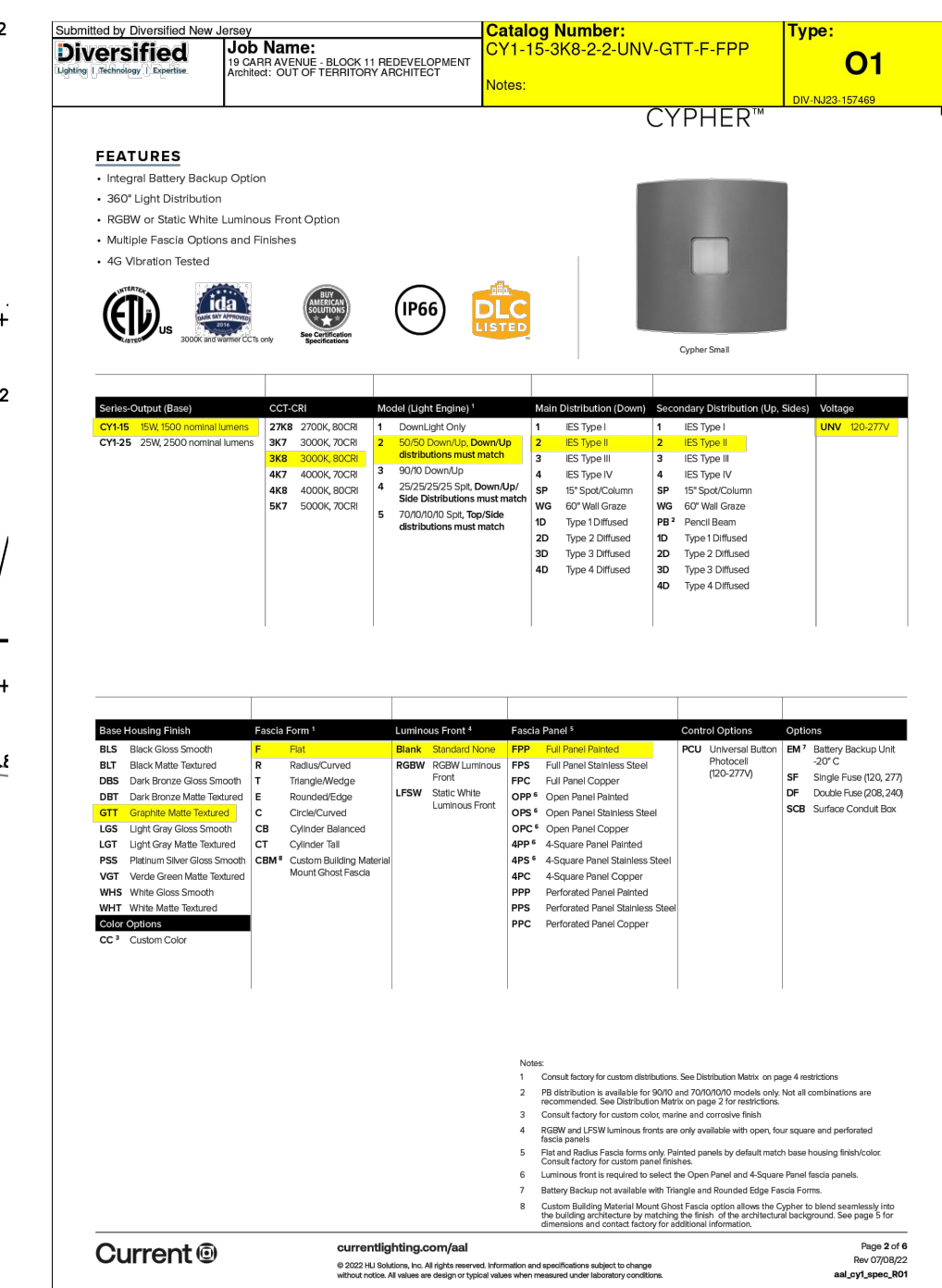
Sheet Number

C6.01

Copyright © 2024

MidAtlantic Engineering Partners, LLC



[illegible]

### 'A' LIGHTING FIXTURE DETAIL

8 4 0 10 20 3

10 6 2

GRAPHIC SCALE  
1 inch = 10 feet







### **STANDARD FOR STABILIZATION WITH MULCH ONLY**

- ### DEFINITION

## PURPOSE

## CONDITIONS WHERE PRACTICE APPLIES

## METHODS AND MATERIALS

- ## **STANDARD FOR TEMPORARY VEGETATIVE COVER**

## SEEDBED PREPARATION

## TEMPORARY SEEDING

## STANDARD FOR PERMANENT VEGETATIVE COVER

## SEEDBED PREPARATION

## PERMANENT SEEDING

- ## STOCKPILE AREA

## STABILIZED CONSTRUCTION ENTRANCE

## SILT FENCE

NOT TO SCALE

# PRELIMINARY/FINAL MAJOR SITE PLAN

288 BEACHWAY AVENUE

BLOCK 10; LOTS 1, 8 & 9

SITUATED IN

Borough of Keansburg, Monmouth County, New Jersey

# MidAtlantic Engineering Partners

20668 Briggs Rd, Suite 300  
Mt. Laurel Twp, NJ 08054  
609-910-4450

1971 Highway 34, Suite 201  
Wall Township, NJ 07719  
732-722-5899

321 W. State Street  
Media, PA 19063  
610-865-0020

26 Washington St., 3rd Floor  
Morristown, NJ 07960  
973-715-8652

*Copyright © 2004, MidAtlantic Engineering Partners, LLC*

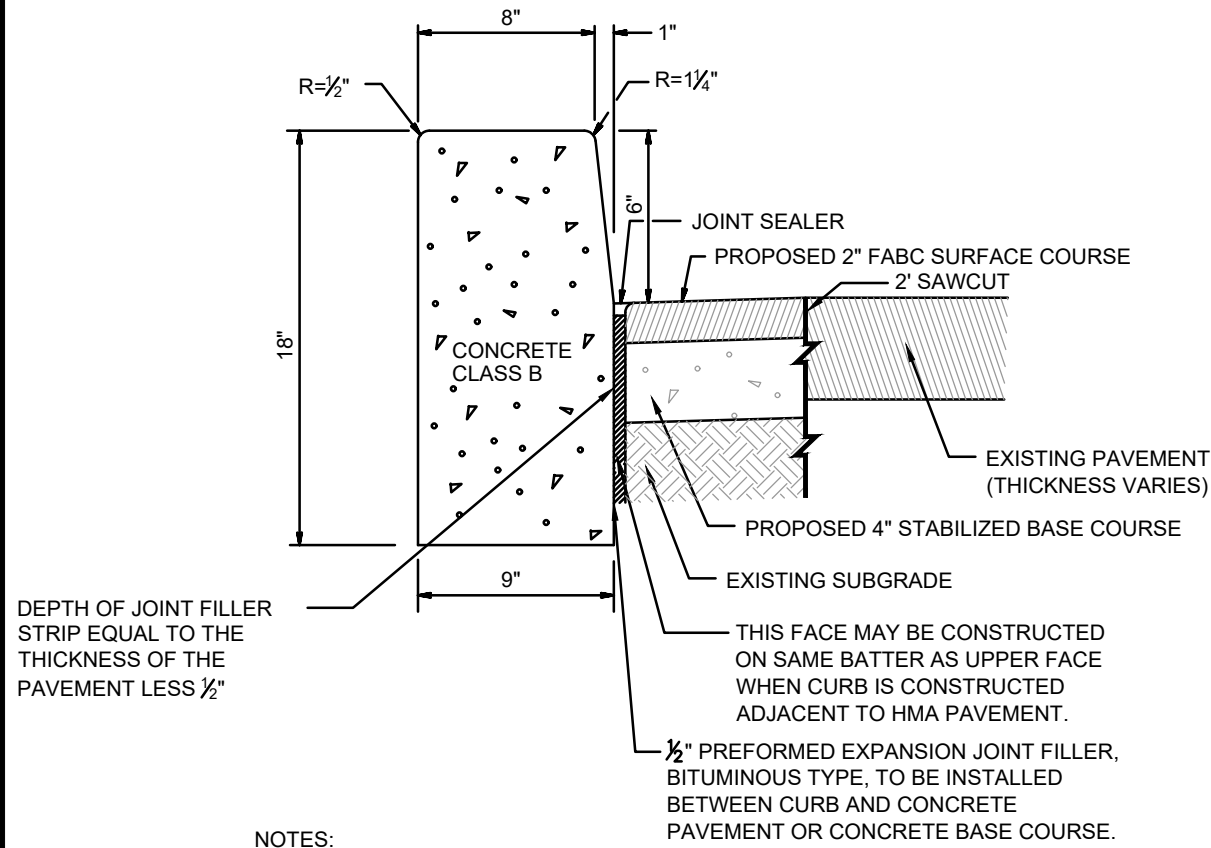
Sheet Number

C8.91

MidAtlantic Engineering Partners, LLC



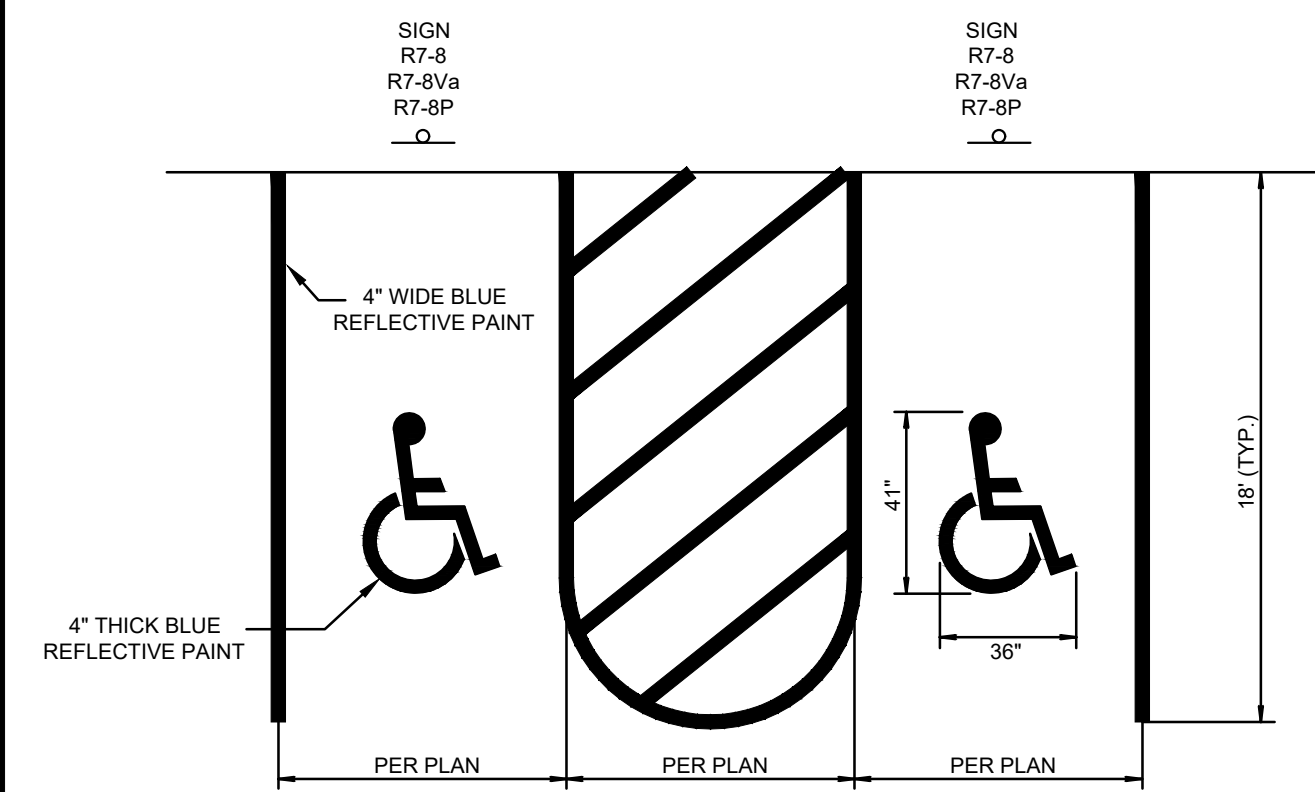
File Name: C:\Sodman Enterprises Inc\JOBS\SEI-2401 - 288 Beachway Avenue\CIVIL\DWG\0900 DETAILS.dwg  
Plot Date: Feb 19, 2025 9:50 AM



NOTES:  
TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20 FEET APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER RECESSED 1/2" IN FROM FRONT FACE AND TOP OF CURB. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.

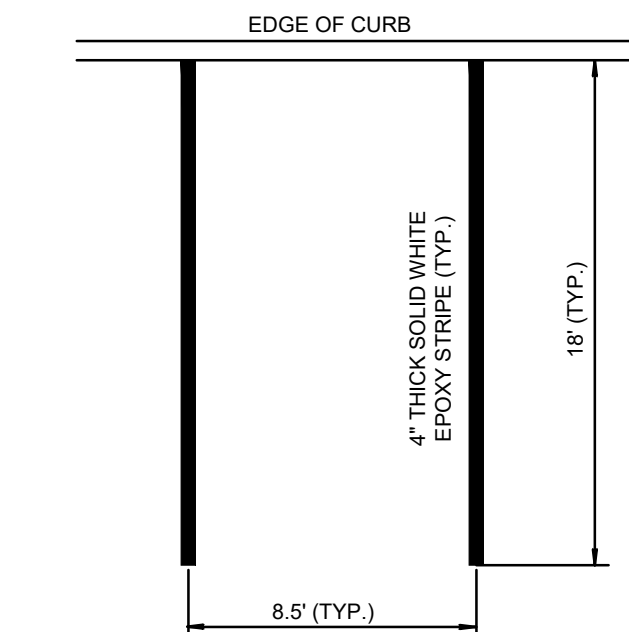
### CONCRETE VERTICAL CURB & SAWCUT PAVEMENT REPLACEMENT

NOT TO SCALE



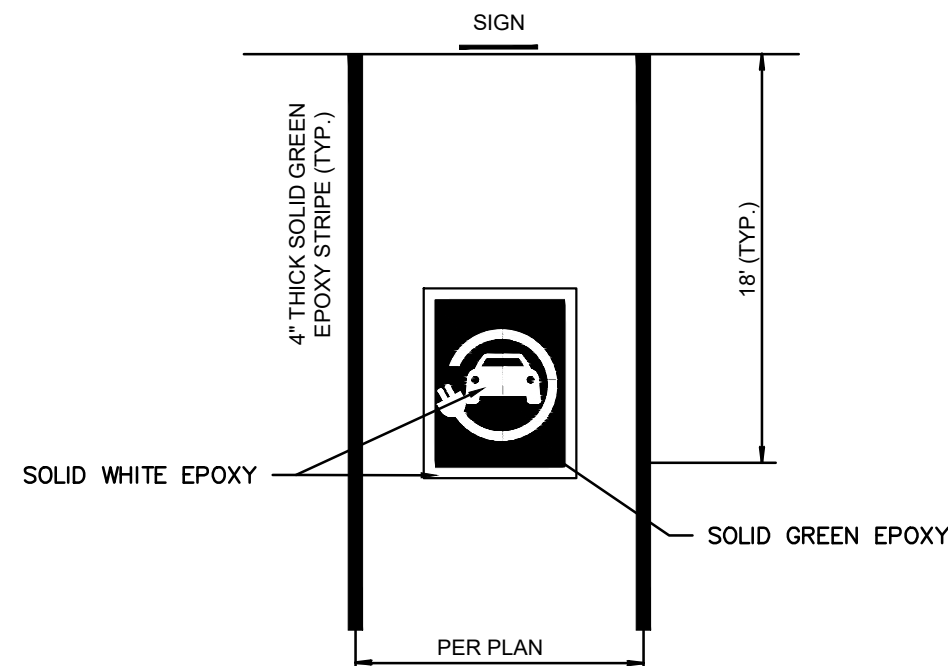
### HANDICAP PARKING STALL STRIPING

NOT TO SCALE



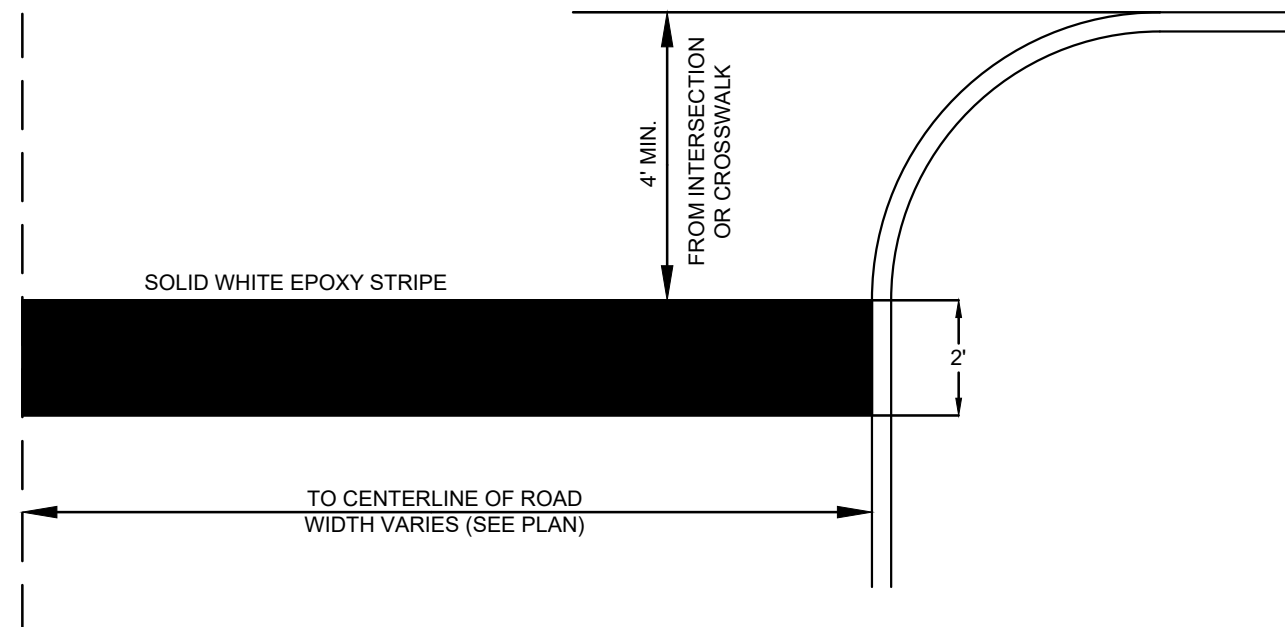
### TYPICAL 18'x8.5' PARKING STALL STRIPING

NOT TO SCALE



### EV STALL STRIPING

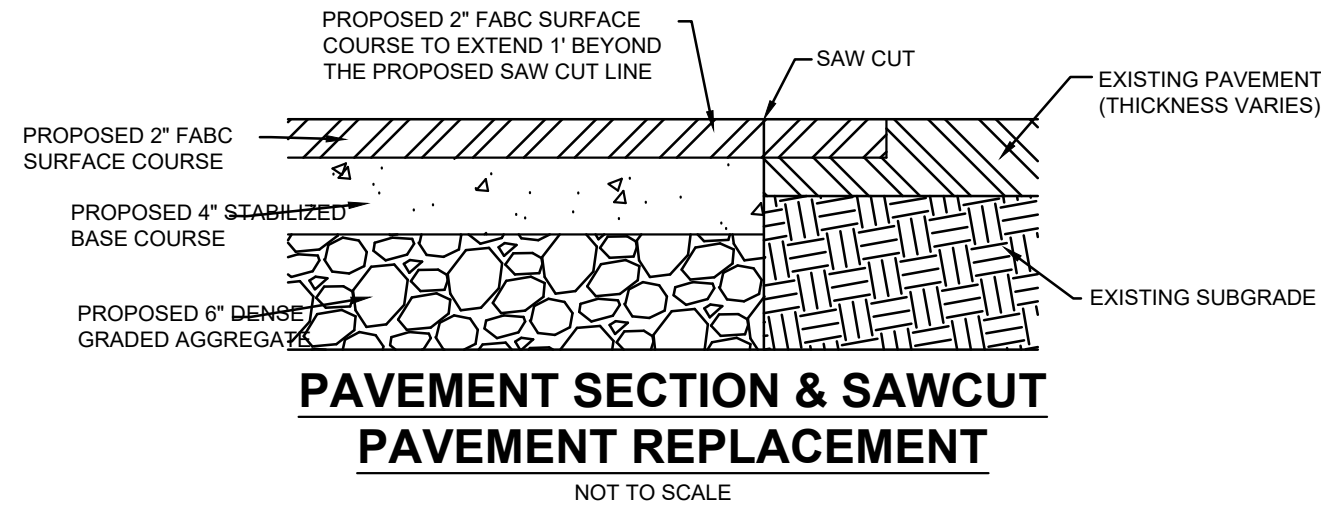
NOT TO SCALE



### STOP BAR DETAIL

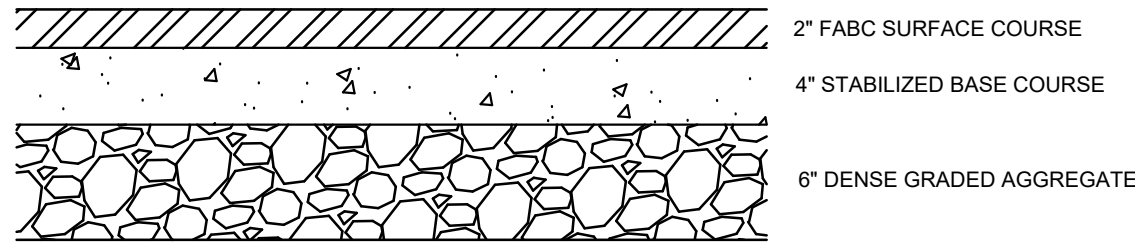
NOT TO SCALE

NOTE:  
IF A CROSSWALK EXISTS AT THE INTERSECTION, THEN THE STOP BAR SHALL BE PLACED A MINIMUM OF 4 FEET AWAY FROM THE CROSSWALK. IF NO CROSSWALK EXISTS, THEN THE STOP BAR SHALL BE PLACED A MINIMUM OF 4 FEET AWAY FROM THE INTERSECTION.



### PAVEMENT SECTION & SAWCUT PAVEMENT REPLACEMENT

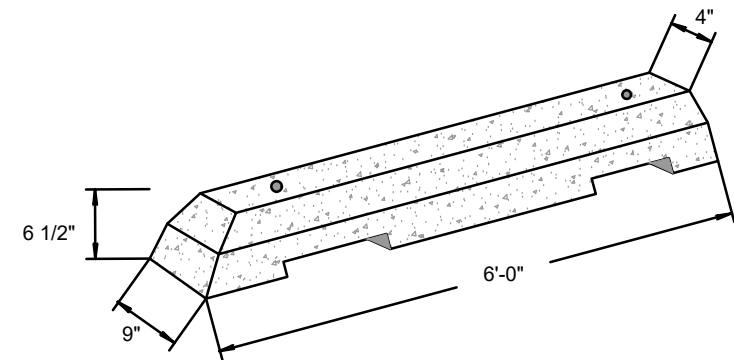
NOT TO SCALE



### PAVEMENT SECTION

NOT TO SCALE

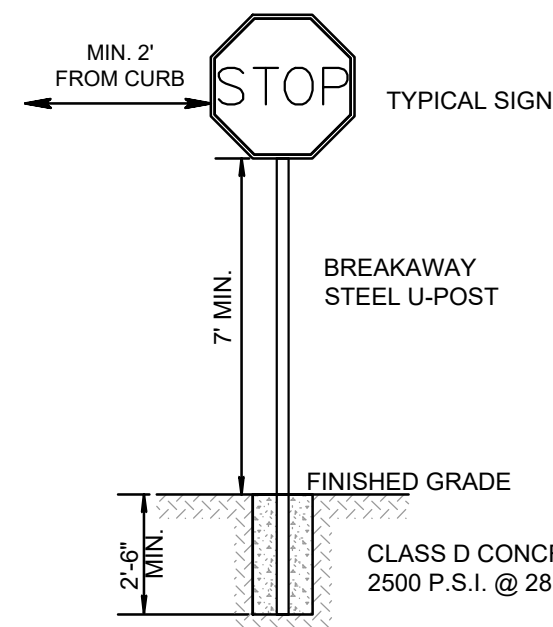
IN ACCORDANCE WITH ORDINANCE SECTION X.X



### PRECAST CONCRETE WHEEL STOP

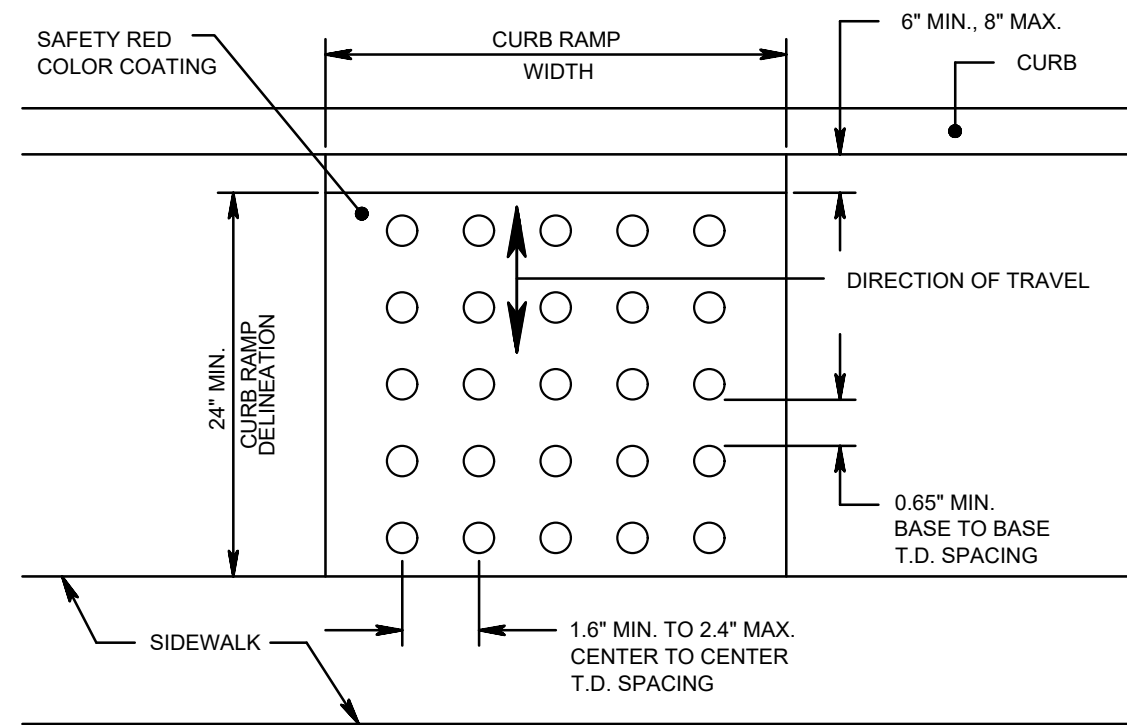
NOT TO SCALE

NOTE: WHEEL STOP TO BE COMPRISED OF DURABLE 5000 PSI AIR-ENTRAINED CONCRETE. WHEEL STOP TO ALSO BE REINFORCED WITH TWO #4 REBARS.



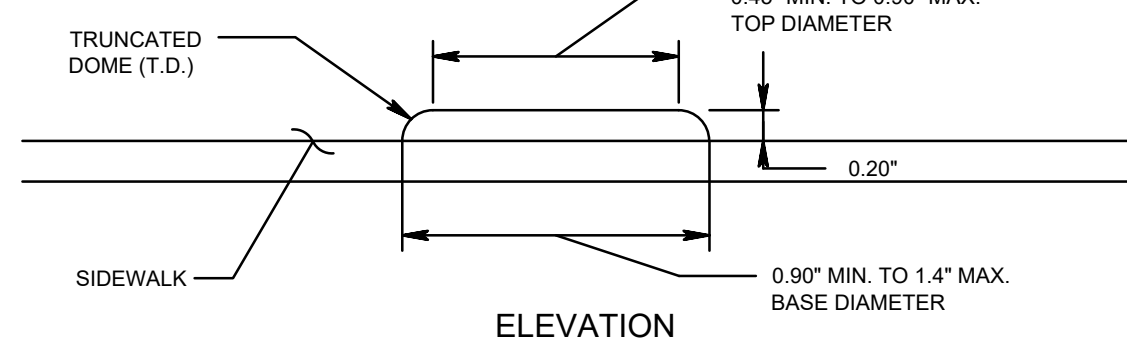
### TRAFFIC CONTROL SIGN DETAIL

NOT TO SCALE



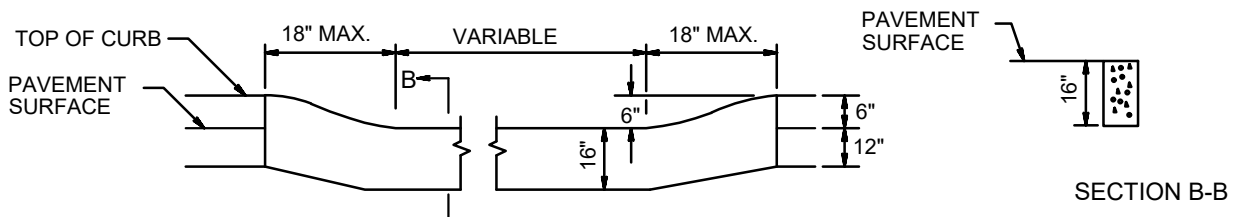
### PLAN VIEW

NOT TO SCALE



### ELEVATION

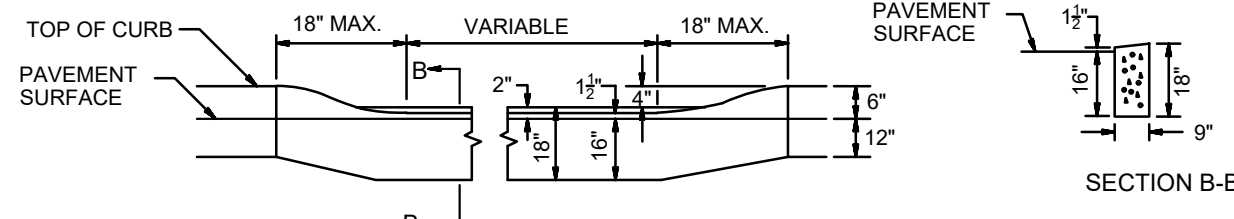
### DETECTABLE WARNING SURFACE



### DEPRESSED CURB (PAVEMENT FLUSH FOR ADA)

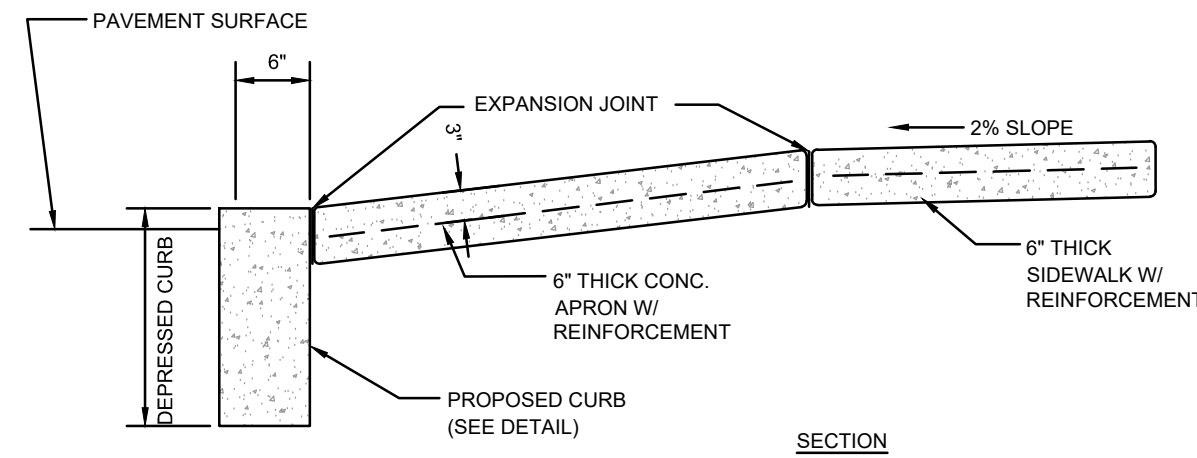
NOT TO SCALE

NOTE: MAX. CURB LIP SEPARATION UP TO 1/4" PER ADA SECTION 303.2.



### DEPRESSED CURB (DRIVEWAY ACCESS NON-ADA)

NOT TO SCALE

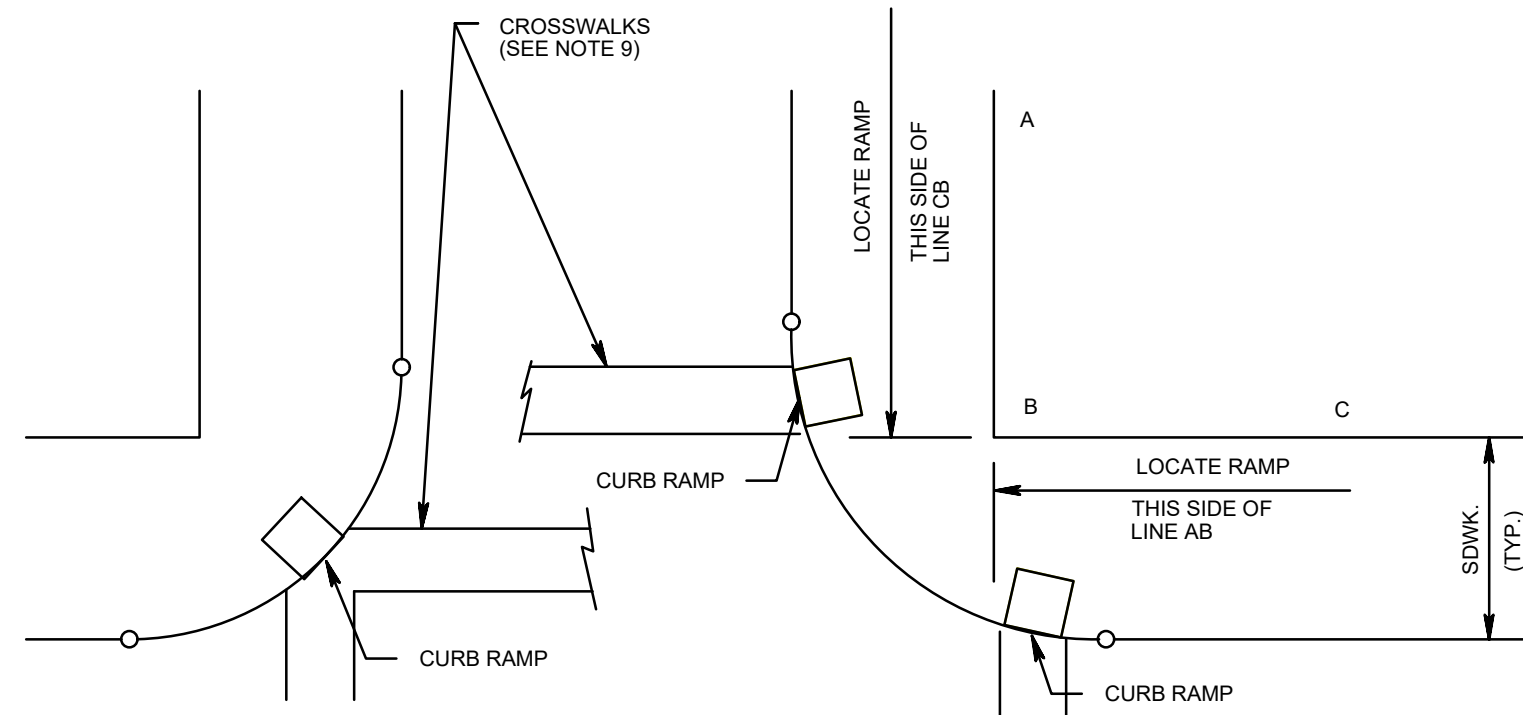


NOTES:  
1. PROVIDE PREFORMED BITUMINOUS EXPANSION JOINTS 1/2" THICK AT 20'-0" (MAXIMUM) INTERVALS. PROVIDE CONTRACTION JOINTS EVERY 4 FEET.  
2. PROVIDE WELDED WIRE FABRIC REINFORCEMENT, TYPE 6X8-W2.9XW2.9 AT DRIVEWAY APRONS.  
3. CONCRETE SHALL BE CLASS "B" PORTLAND CEMENT HAVING A 28 DAY STRENGTH OF 4500 PSI.

### DRIVEWAY APRON DETAIL

NOT TO SCALE

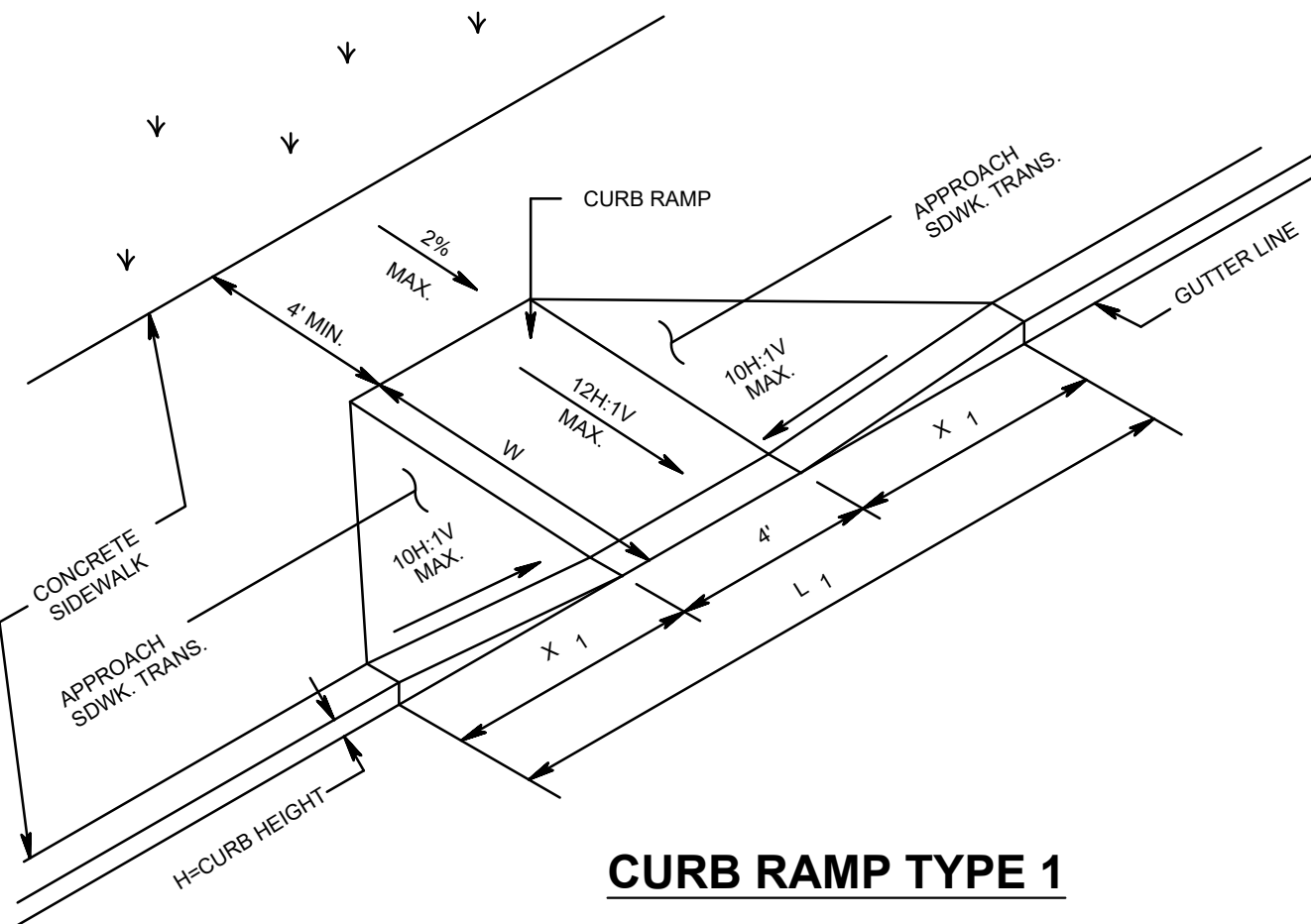
CURB RAMP TYPE 1			
H INCHES	X 1 FEET	L 1 FEET	W FEET
3	2.5	9.0	3
4	3.3	10.6	4
5	4.2	12.4	5
6	5.0	14.0	6
7	5.8	15.6	7
8	6.7	17.4	8
9	7.5	19.0	9



### LOCATION OF CURB RAMP TYPES 1, 2, 3, 4 & 7 FOR CROSSING PARALLEL AND PERPENDICULAR TO HIGHWAY

GENERAL NOTES:

- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
- DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
- CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMP.
- FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
- SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
- CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
- WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
- THE PUBLIC SIDEWALK CURB RAMP, DETECTABLE WARNING SURFACE (SHADED AREA) SHALL BE SAFETY RED COLOR ON CONCRETE OR 70% COLOR CONTRAST FOR OTHER SURFACE SUCH AS BRICK.
- CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.
- PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERMIXED WITHIN THE SAME INTERSECTION.
- DIMENSIONS SHOWN IN TABLES ARE FOR 3 INCH TO 9 INCH CURB HEIGHTS. WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMP WILL HAVE TO BE CALCULATED BASED ON CROSS SLOPES SHOWN.



### CURB RAMP TYPE 1

CHECKED BY: MS	PROJECT No.: SEI-2401	DATE: 02/19/25
DRAWN BY: LV	HORIZONTAL SCALE: N/A	VERTICAL SCALE: N/A

**PRELIMINARY/FINAL MAJOR SITE PLAN**  
288 BEACHWAY AVENUE  
BLOCK 10; LOTS 1, 8 & 9  
CONSTRUCTION DETAILS

SITUATED IN  
BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

**MidAtlantic Engineering Partners**  
301 W. State Street  
Middletown, NJ 07960  
973-715-8602  
Copyright © 2024, MidAtlantic Engineering Partners, LLC

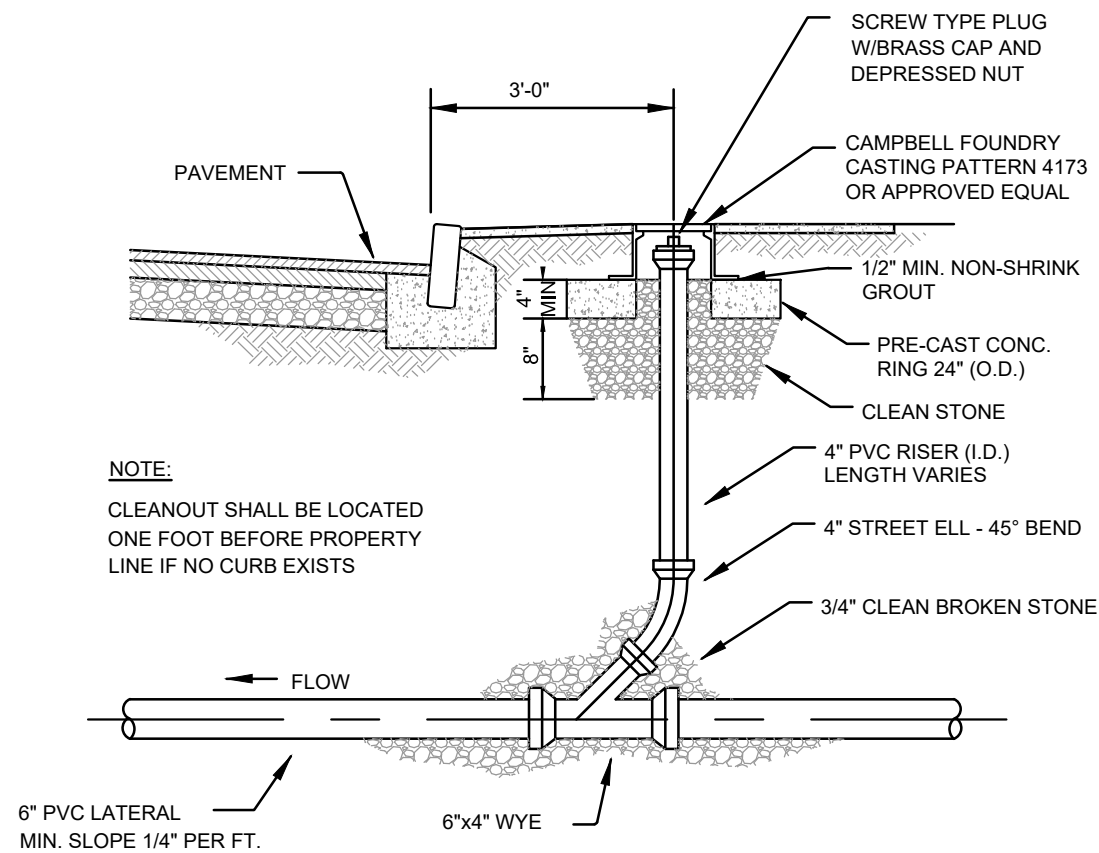
**Ian A. Burton, P.E.**  
PROFESSIONAL ENGINEER  
N.J. Lic. No. 0B05419600

CHECKED BY: MS	PROJECT No.: SEI-2401	DATE: 02/19/25
DRAWN BY: LV	HORIZONTAL SCALE: N/A	VERTICAL SCALE: N/A

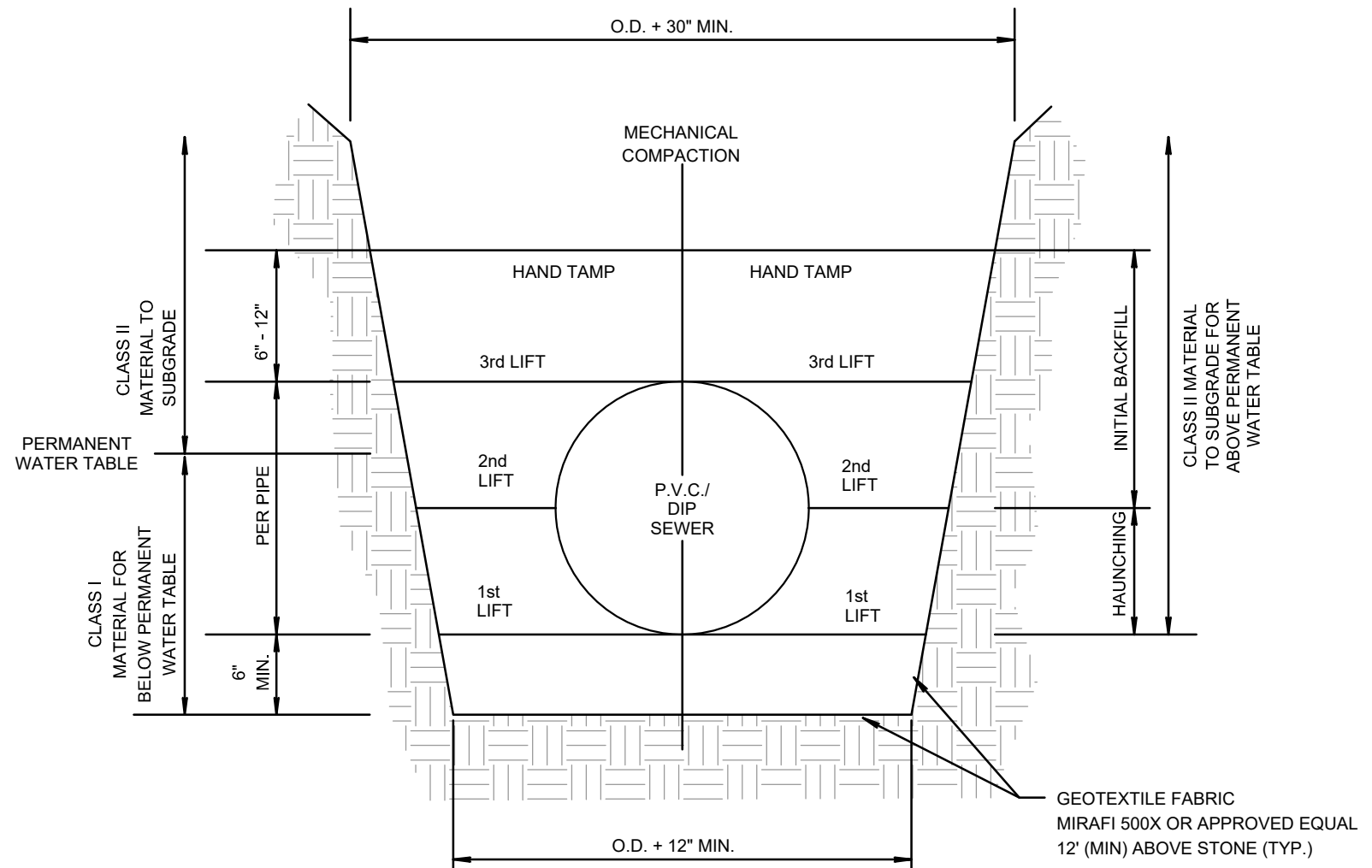
**MidAtlantic Engineering Partners**  
301 W. State Street  
Middletown, NJ 07960  
973-715-8602  
Copyright © 2024, MidAtlantic Engineering Partners, LLC

**C9.01**  
Copyright © 2024  
MidAtlantic Engineering Partners, LLC

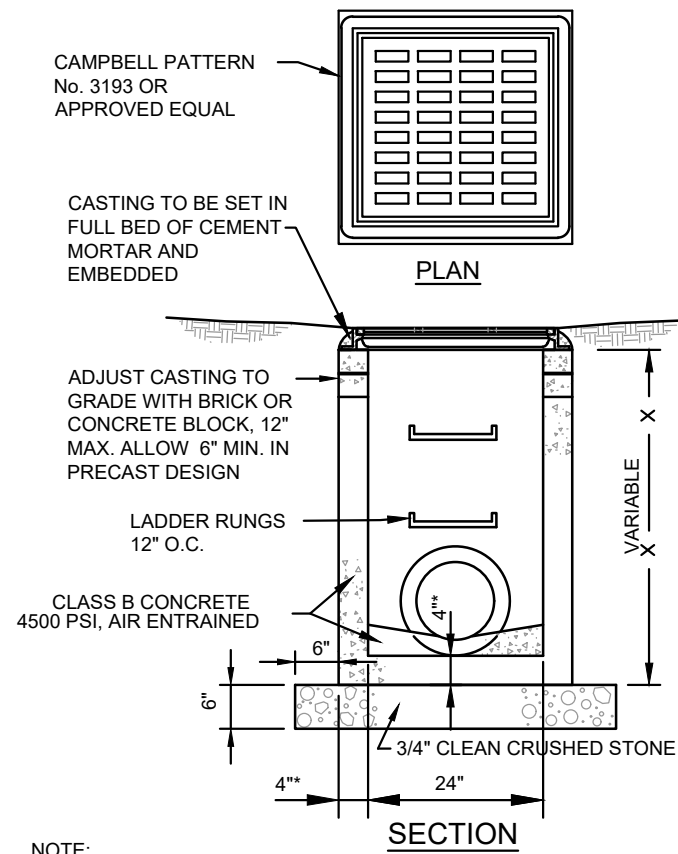




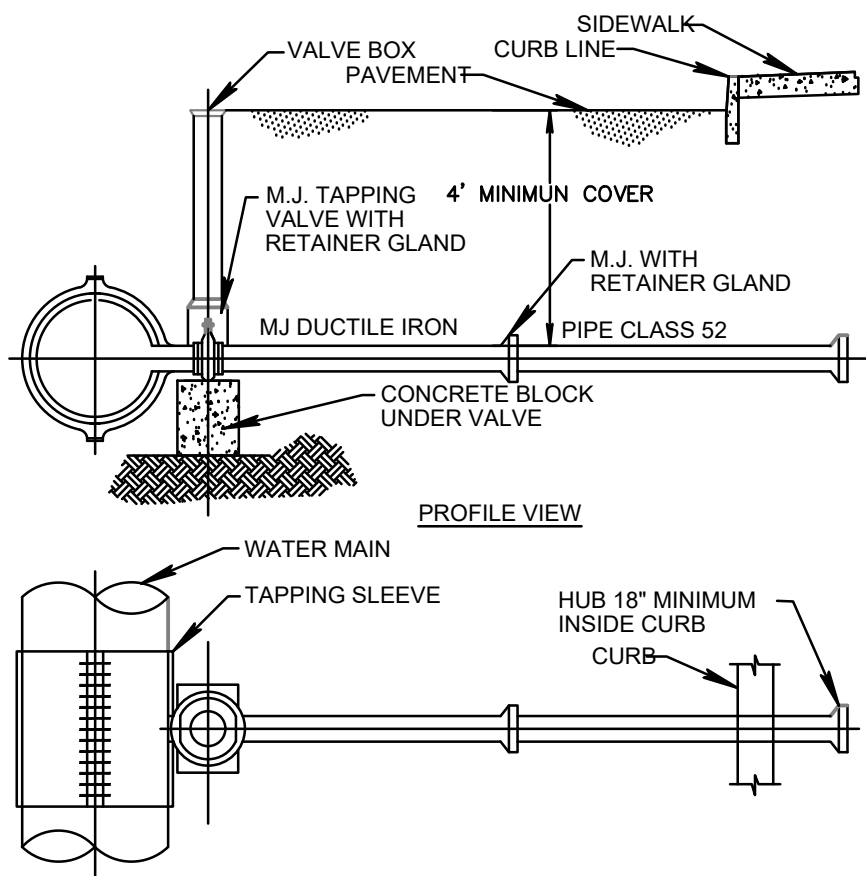
**CLEANOUT AT CURB DETAIL**  
NOT TO SCALE



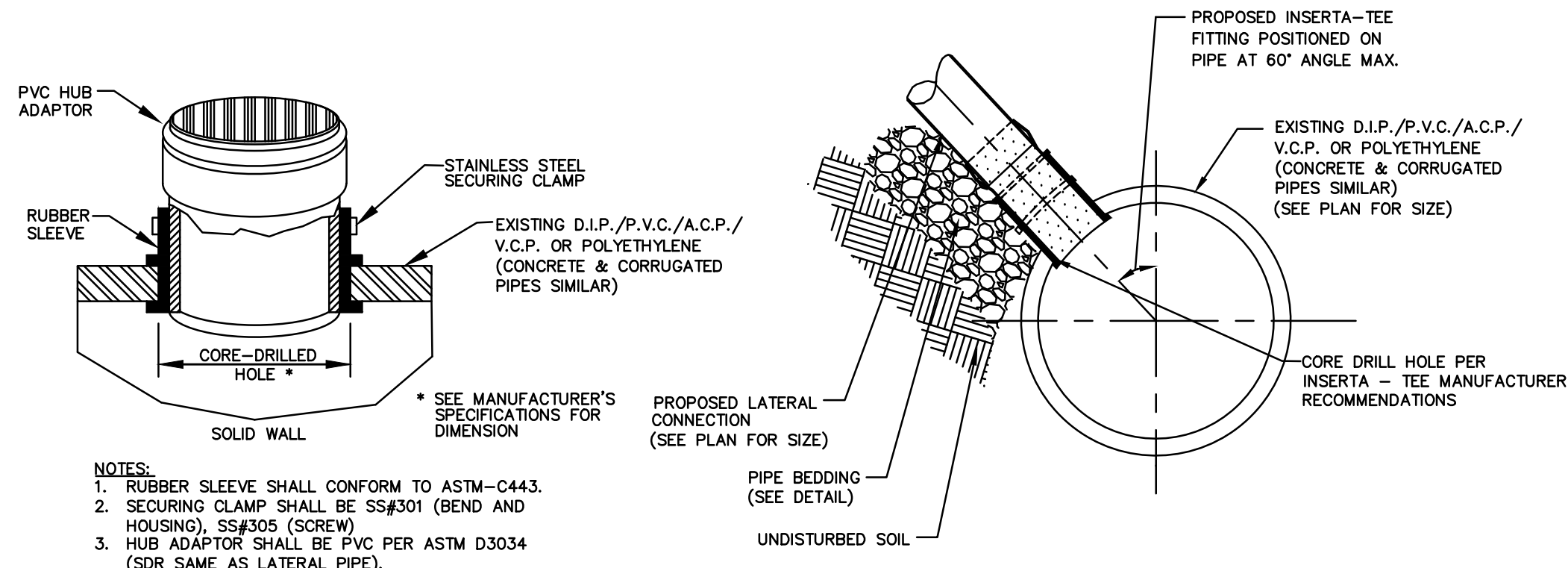
**PIPE BEDDING DETAIL**  
NOT TO SCALE



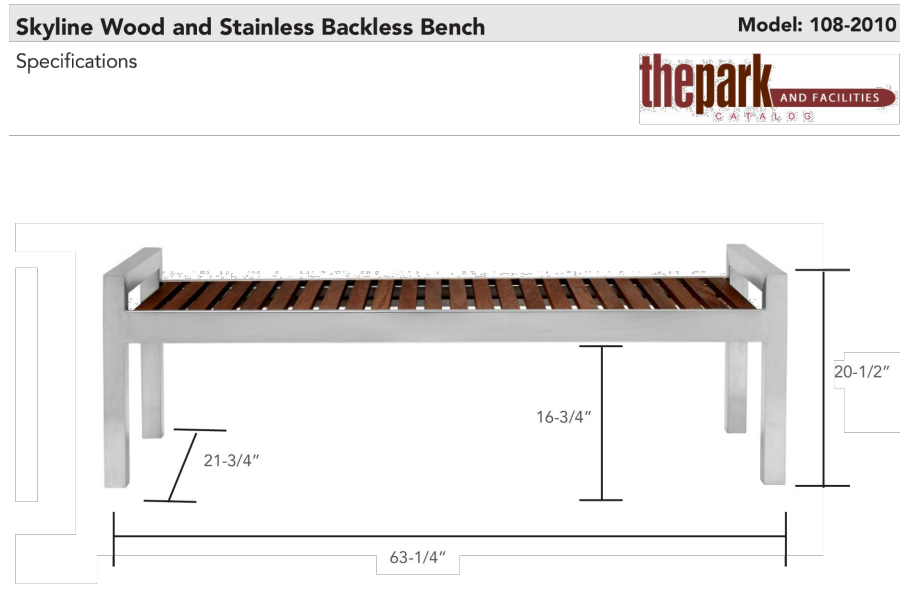
**GARAGE INLET**  
NOT TO SCALE



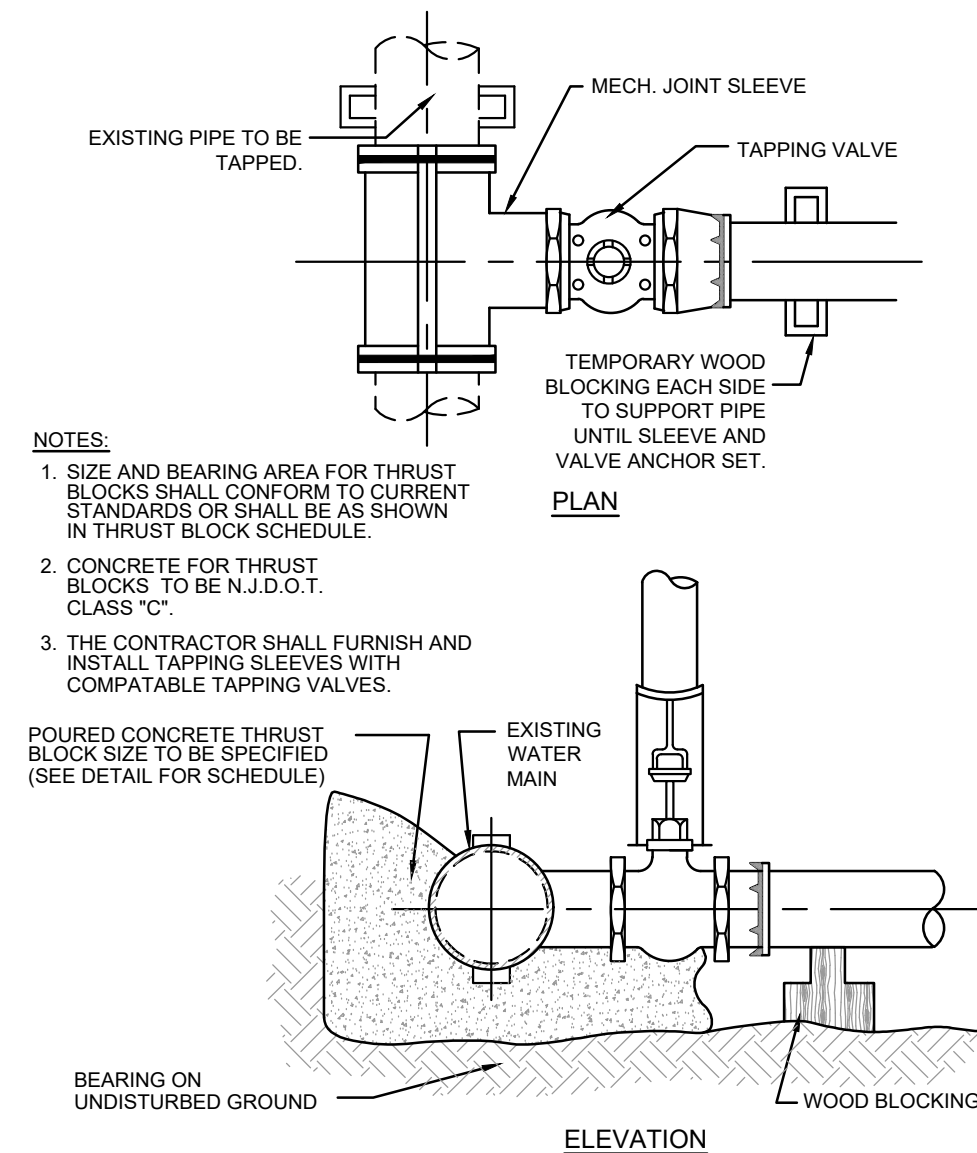
**TYPICAL INSTALLATION OF 4"-12" SERVICES**  
NOT TO SCALE



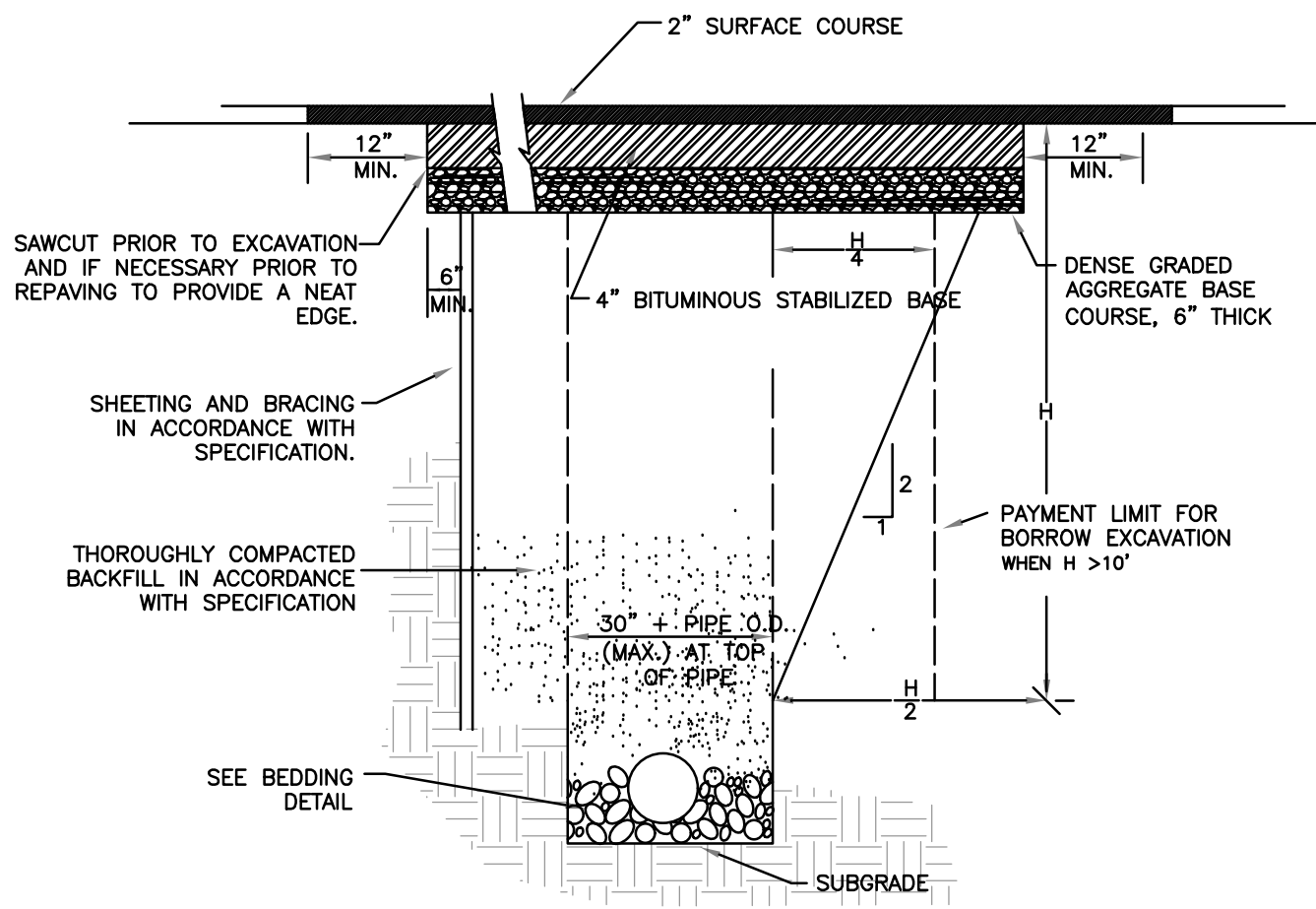
**INSERTA TEE CONNECTION DETAIL**  
NOT TO SCALE



**BENCH DETAIL**  
NOT TO SCALE

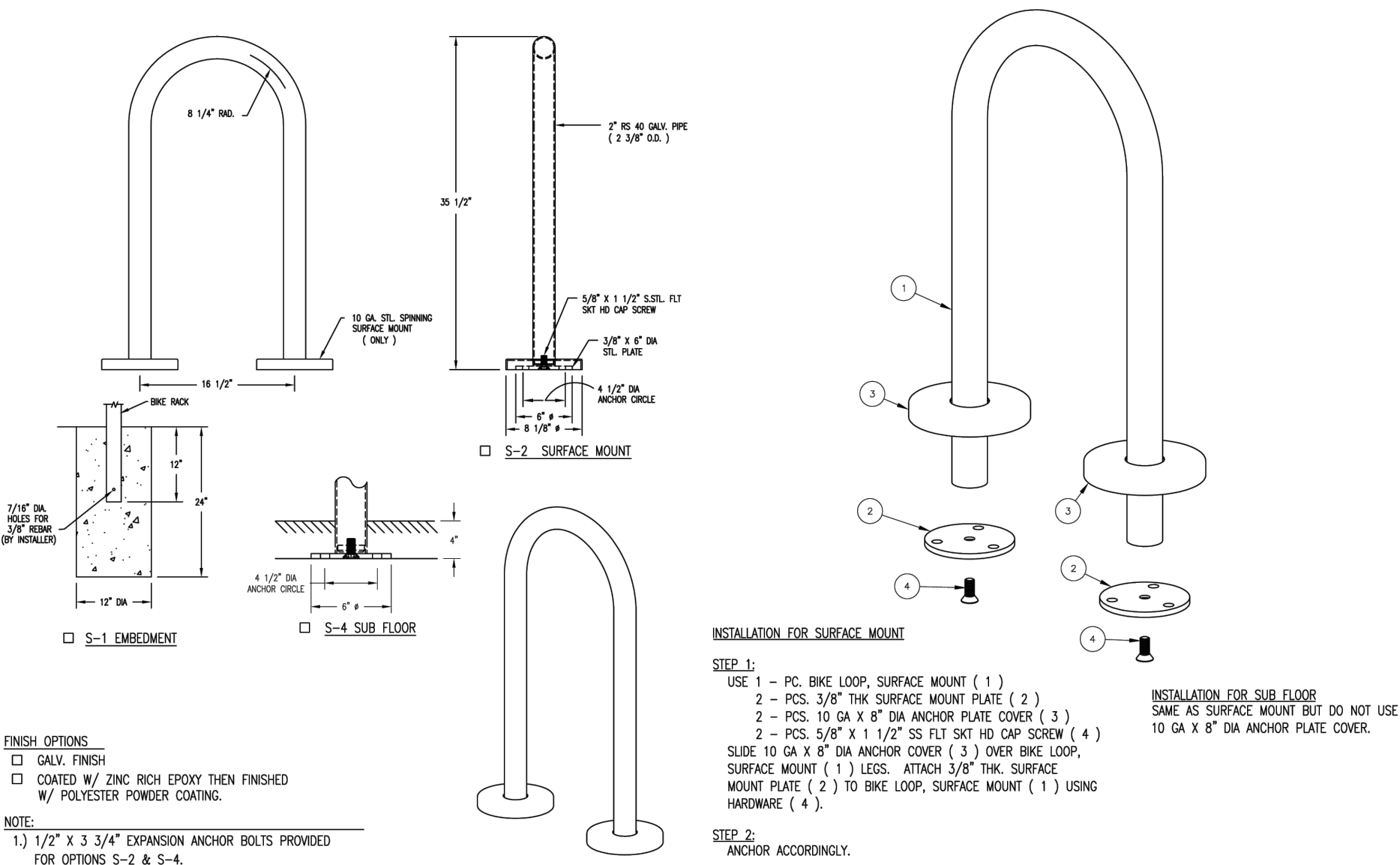


**WET TAP ASSEMBLY**  
NOT TO SCALE



- CONSTRUCTION NOTES:**
1. MAXIMUM PAYMENT WIDTH FOR BORROW EXCAVATION SHALL BE 30" + PIPE O.D., WHEN PLACED IN A TRENCH WITH DEPTH OF 10' OR LESS TO THE TOP OF THE PIPE. FOR TRENCHES OF GREATER DEPTH, THE MAXIMUM PAYMENT WIDTH FOR BORROW EXCAVATION SHALL BE 30" + PIPE O.D. + H/2.
  2. AT MANHOLES, BITUMINOUS STABILIZED BASE IS TO BE PLACED 6" BEYOND THE TRENCH LIMIT OR 6" BEYOND DAMAGED PAVEMENT BASE COURSE WHICHEVER IS GREATER.
  3. THE NEW TRENCH REPAIR MADE WITH 6" OF STABILIZED BASE COURSE ASPHALT SHALL BE ALLOWED TO SETTLE FOR A PERIOD BETWEEN 3-6 MONTHS BEFORE MILLING AND PAVING WITH 2" OF SURFACE COURSE.
  4. SERVICE CONNECTION TRENCHES ARE TO BE REPAIRED AS ABOVE EXCEPT MAXIMUM OVERLAY PAY WIDTH SHALL BE 6'. PAYMENT SHALL BE INCLUDED IN LINEAR FOOT MEASUREMENT FOR SEWER MAIN. NO SEPARATE PAYMENT WILL BE MADE FOR SERVICE TRENCHES.
  5. ANY SUPERFICIAL SURFACE DAMAGE CAUSED BY THE CONTRACTOR OUTSIDE THE LIMIT SHOWN, SHALL BE PAVED WITH SURFACE COURSE. WHEN THE BASE COURSE OF THE EXISTING PAVEMENT IS DAMAGED BEYOND THE LIMIT SHOWN THE CONTRACTOR SHALL EXCAVATE 6" BEYOND THE DAMAGED AREA AND REPLACE IT WITH BITUMINOUS STABILIZED BASE COURSE. NO ADDITIONAL PAYMENT WILL BE MADE FOR THIS EXTRA PAVEMENT.

**TYPICAL TRENCH & PAVEMENT REPAIR**  
N.T.S.



**BIKE RACK (TYP)**  
NOT TO SCALE

PRELIMINARY/FINAL MAJOR SITE PLAN

288 BEACHWAY AVENUE

BLOCK 10; LOTS 1, 8 & 9

C9.02 - DETAILS

SITUATED IN BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

**MidAtlantic Engineering Partners**

28 Washington St. 3rd Floor  
Morristown, NJ 07960  
973-715-8802  
1971 Highway 94, Suite 201  
Wall Township, NJ 07719  
732-722-8899  
609-910-4450  
Copyright © 2024, MidAtlantic Engineering Partners, LLC

Sheet Number

**C9.02**

Copyright © 2024  
MidAtlantic Engineering Partners, LLC

DRAWN BY	CHECKED BY	REVISIONS	DATE
LV	MS		
N/A	N/A		
PROJECT No.	SEI-2401		
DATE	02/13/25		

**Ian A. Burton, P.E.**  
PROFESSIONAL ENGINEER  
N.J. Lic. No. GB05419600